

RESIDENTIAL KITCHEN ALTERATION REQUIREMENTS

A building permit is required for all new, relocated, or remodeled kitchens. Typical kitchen remodel projects may include replacing cabinets, countertops, appliances, lighting, plumbing fixtures, or ventilation equipment, and in some cases may involve changes to walls (structural or non-structural) or the overall kitchen layout.

Note: Waste management may be required if kitchen remodel is part of an addition. [Click here](#) to determine if your project requires waste management.

The following kitchen projects may be processed with a permit application only (no plans required):

- Like-for-like kitchen remodels and repairs (no changes to kitchen layout).
- Adding circuitry, lighting, replacing plumbing fixtures and/or replacing appliances.

The following kitchen projects may be processed either through our over-the-counter (OTC) process (to determine if your project qualifies for OTC review, [click here](#)) or through the standard plan review process, depending on the scope of work (plans are required for both):

- Kitchen remodels involving layout changes, new windows, enlarging existing windows, adding sliding doors, or converting existing windows into doors.
- Kitchen enlargements involving the removal of non-structural or structural walls.
 - If structural (load-bearing) walls are proposed to be removed or altered, structural calculations and supporting documentation prepared by a qualified design professional shall be provided demonstrating the modification maintains a continuous load path.

First-round review is typically completed within three weeks, depending on the completeness of the plans submitted. Applications, plans, and supporting documents shall be uploaded through our ACA system (Accela Citizen Access) online at: [Accela Portal](#)

The following are plan submittal requirements:

Cover sheet shall be provided with the following information:

- Include property owner's name, site address, phone number and Assessor's Parcel Number (APN).
- Provide the plan preparer's information on each sheet of the plans, including name, title, professional license number (if applicable), address, phone number, and signature.
- Indicate the current applicable codes and regulations in effect at the time of application (e.g., 2025 California Building Code, California Residential Code, California Electrical Code, California Plumbing Code, California Mechanical Code and City of Pleasanton Municipal Code).
- A complete scope of work describing all the work which will be performed under the building permit.
- State if the dwelling is equipped with fire sprinklers.

Building requirements:

- Provide an existing floor plan showing the current layout of the dwelling and kitchen area, including all walls (indicate load bearing or non-load bearing), doors, windows, cabinets, appliances, and fixtures.
- Provide a floor plan showing the proposed kitchen layout, including the location of all appliances, plumbing fixtures (sink, dishwasher), cabinet layout, lighting, and new or reconfigured walls, doors, or windows.
- Safety (tempered) glass is required at hazardous locations. Glazing in doors and glazing located within 24 inches of a door shall be safety glazing and must have a permanent manufacturer's label indicating compliance with safety glazing standards.

Plumbing Requirements:

- Every kitchen shall be provided with a sink supplied with hot and cold running water connected to an approved drainage system. All domestic hot water lines shall be insulated.
- Dishwashers (If provided) shall be discharged through an approved air gap installed above the flood level rim above the sink.
- All plumbing fixtures shall be properly secured, sealed, and free of leaks.
- Kitchen sinks shall be connected to a minimum 2-inch drain line and properly vented.
- Kitchen sinks located in islands or peninsulas shall be vented using an approved island loop vent system.

Water-Efficient Plumbing Fixtures Requirement:

When a building permit is issued for remodeling, all existing non-compliant plumbing fixtures throughout the home must be upgraded to current water-efficient standards Required maximum flow rates:

- Toilets: 1.28 gallons per flush (GPF).
- Showerheads: 1.8 gallons per minute (GPM) at 80 PSI.
- Bathroom faucets: 1.2 GPM at 60 PSI.
- Kitchen faucets: 1.8 GPM at 60 PSI.

Mechanical Requirements:

- Kitchens shall be provided with a mechanical exhaust system that discharges directly to the exterior of the building and is installed in accordance with the manufacture installation guide.
- Range hood exhaust ducts shall be constructed of metal with smooth interior surfaces and sealed with duct mastic or metal tape (no fasteners shall be used).
- Exhaust terminations shall be located not less than 3 feet from property lines or building openings and not less than 10 feet from forced air intakes.
- A kitchen shall be provided with a mechanical exhaust system that discharges to the exterior and complies with the following airflow rates stated in Energy code Table 150.0-G:

Dwelling Unit Floor Area	Hood Over Electric Range	Hood Over Natural Gas Range
Greater than 1500 ft ²	50% CE or 110 CFM	70% CE or 180 CFM
1001 – 1500 ft ²	50% CE or 110 CFM	80% CE or 250 CFM
750 – 1000 ft ²	55% CE or 130 CFM	85% CE or 280 CFM
Less than 750 ft ²	65% CE or 160 CFM	85% CE or 280 CFM

Electrical Requirements:

- Kitchens shall be provided with a minimum of two 20-amp small-appliance branch circuits serving receptacle outlets in the kitchen, pantry, breakfast room, and dining room areas, and these circuits shall not serve other outlets except as permitted by the California Electrical Code.
- Receptacles serving kitchen appliances shall be readily accessible and shall not be behind appliances.
- All 125V through 250V receptacles installed in kitchens shall be GFCI protected, including receptacles serving appliances such as dishwashers, garbage disposals, ranges, wall ovens, cooktops, hoods, and microwaves. Receptacles rated 125V shall be tamper-resistant.
- All 125V, 15- and 20-amp branch circuits supplying outlets or devices in kitchens shall be provided with Arc-Fault Circuit-Interrupter (AFCI) protection by an approved method in accordance with CEC §210.12.
- Countertop receptacles shall be provided for countertop spaces 12 inches or wider, spaced so that no point along the wall line is more than 24 inches horizontally from a receptacle outlet, and located not more than 20 inches above the countertop. Islands and peninsulas shall include a receptacle outlet or provisions for a future outlet.
- The existing electrical main or distribution panel may require upgrading to accommodate required breakers.

Energy Code Requirements:

- Kitchen lighting fixtures shall be high-efficacy, and recessed ceiling fixtures shall be IC-rated, airtight, and sealed to the ceiling envelope.
- Lighting alterations or modifications to the building envelope may require Energy Code compliance documentation (CF2R forms) to demonstrate compliance with the current California Energy Code.

Inspections Procedures

Rough Frame Inspection Procedure (Inspection code 404- 407):

- Wall, floor, and ceiling framing, including structural modifications, shall comply with the approved plans and applicable building codes
- All new windows shall be installed per manufacturer's installation guide and properly flashed
- All new or relocated plumbing rough-ins, including drain, waste, vent, and water supply piping, shall be complete and under required pressure test.
- Gas piping shall be complete and under the required pressure test at the time of inspection.
- Range hoods shall be installed with ducting routed to the exterior at the approved location and equipped with a backdraft damper.
- Electrical rough wiring shall be complete, including outlet boxes installed to comply with required countertop receptacle spacing, nail plate protection where required, two 20-amp small appliance circuits provided, lighting fixture housing installed, and all appliance circuits installed per manufacturer installation instructions.
- Where islands or peninsulas are installed without receptacles, provisions for a future receptacle installation shall be provided.

Insulation Inspection Procedure (Inspection code 501):

- All penetrations and holes made for plumbing, mechanical, and electrical rough-ins shall be sealed to limit air leakage.
- Insulation shall be properly installed in all exterior walls and ceiling/rafter spaces where applicable, in accordance with the approved plans and Energy Code requirements.

Drywall Inspection (Inspection code 502):

- Drywall inspection is only required when a rated fire-resistance assembly, such as a garage separation wall or a unit-to-unit party wall, is being altered.

Final Inspection (Inspection code 999):

- All electrical devices, including switches, receptacles, lighting fixtures, and cover plates, shall be installed.
- Required GFCI/AFCI protection shall be provided per electrical code, and the electrical panel directory shall be properly labeled.
- Sink securely installed and sealed to the countertop, with faucet, shutoff valves, and drain piping installed and functioning properly and no visible leaks at fixtures, traps, or supply connections
- Dishwasher installed with approved air gap fitting.
- Range hood installed and operational, with exhaust duct connected and vented to the exterior.
- Range shall be installed per manufacturer's installation instructions, with an approved anti-tip bracket installed and the gas shutoff valve shall be accessible.
- All built-in appliances, including refrigerators, ovens, garbage disposals, microwaves and other installed appliances, shall be installed in accordance with the manufacturer's installation instructions.
- Provide a completed [Water-Conserving Plumbing Fixtures Certificate form](#).
- Smoke alarms and carbon monoxide alarms may be verified by the inspector during the inspection, or a Smoke/Carbon Monoxide Alarm Certification Form completed and signed by the homeowner or property manager may be submitted to the Building Inspector. Smoke and carbon monoxide alarm requirements and the certification form can be found here: [Smoke/Carbon Certification Form](#).

Projects Address:
 200 Old Bernal Ave
 Pleasanton, CA 94566

Owner info:
 Jane & John Doe
 XXX Old Bernal Ave
 Pleasanton, CA 94566
 Phone# 925-XXX-XXX

Contractor Information:
 XXXXX Construction
 Company name/Address/Phone#
 Mike Smith: _____

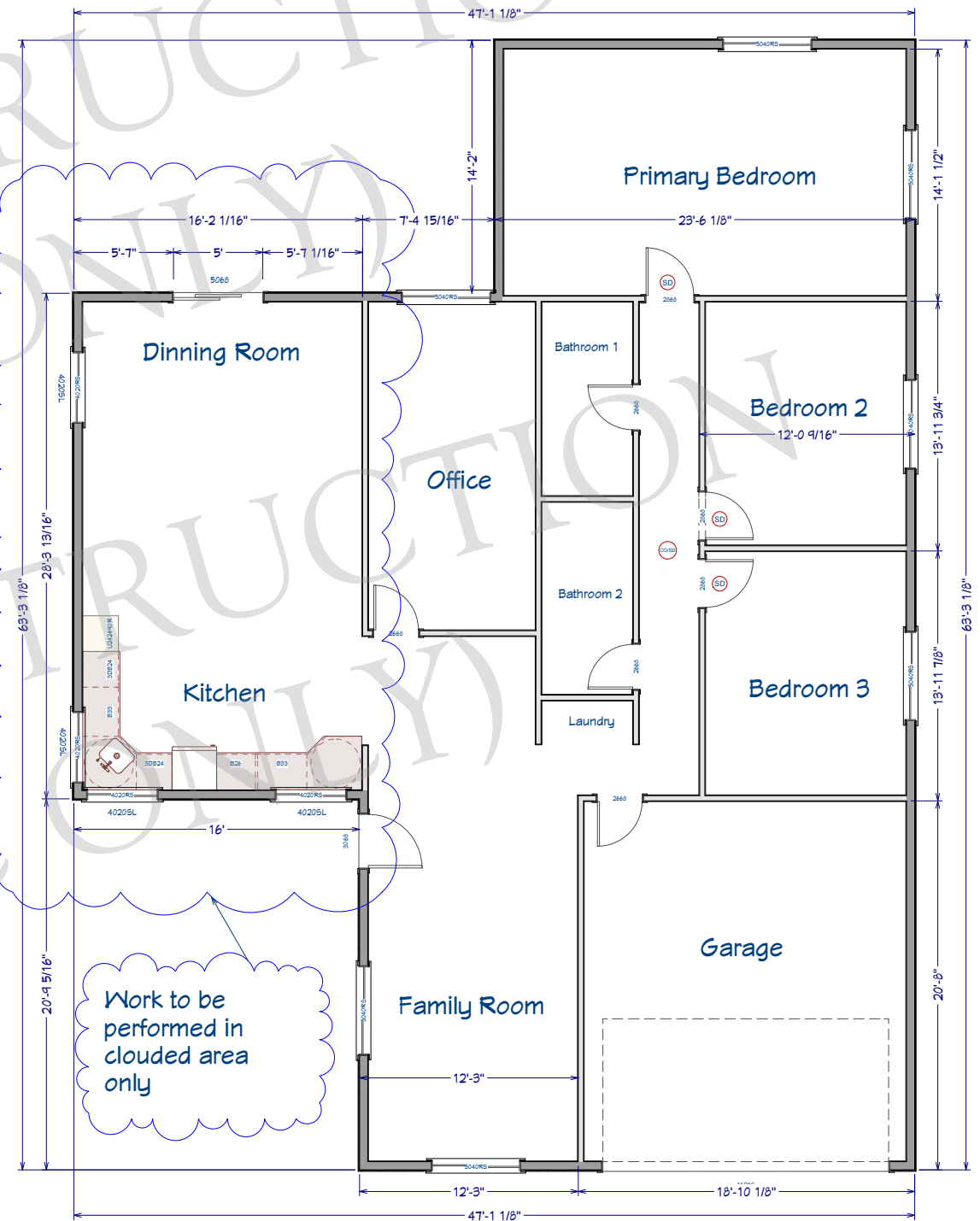
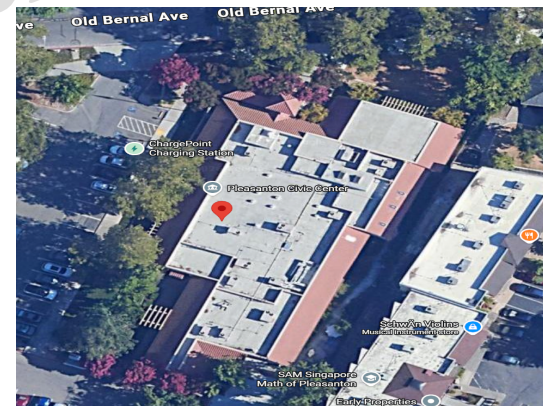
Projects Data:
 Occupancy: R3
 Construction type:VB
 Fire Sprinklers: No
 Square Footage= 2312 sq ft
 APN: 094-0157-005-09

- Scope of Work:**
- Relocate kitchen from current location to dining room area (add island).
 - All windows shall be increased in height from 4020 to 4036, with no changes to the header or framing; only the sill height shall be lowered.
 - All new electrical for kitchen, add new 220V oven and Upgrade panel in garage to accommodate new breakers.

Applicable Building Codes:
 2025 California Building Code, California Residential Code, California Electrical Code, California Plumbing Code, California Mechanical Code, Energy/Green Building Code and City Of Pleasanton Municipal Code

City Stamp:

Satellite Image (Optional not required)



Work to be performed in clouded area only

Existing Layout



REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

Owner info: Jane & John Doe
 XXX Old Bernal Ave
 Pleasanton, CA 94566
 Phone# 925-XXX-XXX

COVER/ EXISTING LAYOUT

DRAWINGS PROVIDED BY:
 XXXXX Construction
 Company name/Address/Phone#
 Mike Smith: Signature

DATE:
 3/14/2026

SCALE:
 1/4" = 1'

SHEET:
 A1

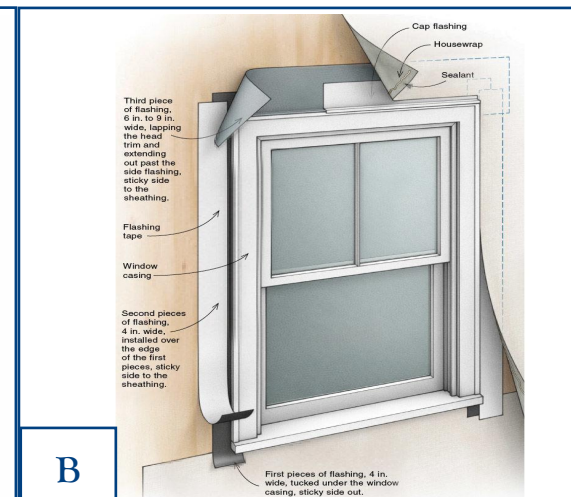
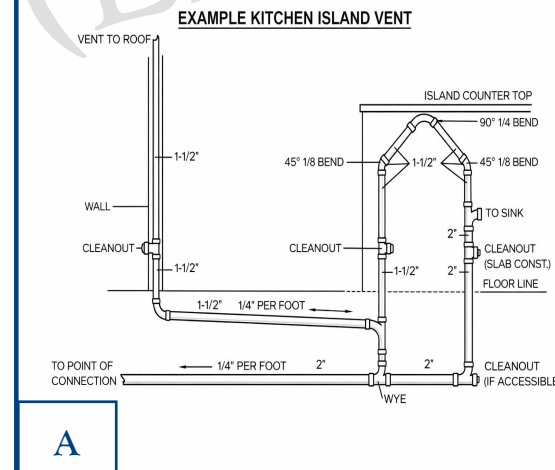
Kitchen Remodel General Requirements:

- Smoke detectors shall be installed in each sleeping room, adjoining hallways, and on each level of a dwelling. CRC 310.3.
- Carbon monoxide detectors shall be installed in dwellings with fuel fired appliances, fireplaces, or attached garages. They shall be installed outside of each sleeping area, and on each level of a dwelling. CRC 311.3.
- Maintain one-hour separation between dwelling units. CRC R302.1(2).
- Through penetrations of fire-resistance rated wall or floor assemblies shall comply with CRC R302.4.1.
- Kitchen countertop outlets shall be installed in all wall sections 12" or wider and shall be located so that no point along wall line is greater than 24" from a receptacle outlet. Islands and peninsulas shall include a receptacle outlet or provisions for a future outlet. CEC 210.52 (C).
- Two dedicated 20-amp branch circuits shall be installed to supply receptacle outlets for kitchen small appliances and provide dedicated circuits for appliances per manufacturer's instructions. CEC 210.11(C)(1).
- Ground fault circuit-Interrupter (GFCI) shall be provided for all 125V through 250V receptacles installed in kitchens, CEC 210.8(A).
- Arc-Fault Circuit-Interrupter (AFCI) shall be provided for all 15- and 20amp, 120-volt branch circuits supplying outlets/receptacles installed in Kitchens. CEC 210.12(A)(B).
- All modified circuits that require AFCI shall comply with CEC 210.12(D).
- Tamper-resistant receptacles shall be provided. CEC 406.12.
- All lighting shall be high efficient and comply with the Energy code Section 150(k).
- All domestic dishwashers shall be connected indirectly to the draining system through an air gap. CPC 807.3.
- Cutting, notching, and drilling floor members shall comply with CRC 502.8
- Cutting, notching, and drilling wall members shall comply with CRC 602.6
- Kitchen shall be provided with mechanical ventilation per Energy code Table 150.0-G
- All work shall comply with current CRC, CMC, CEC, CPC, CGBC, and California energy code and City of Pleasanton Municipal Code.

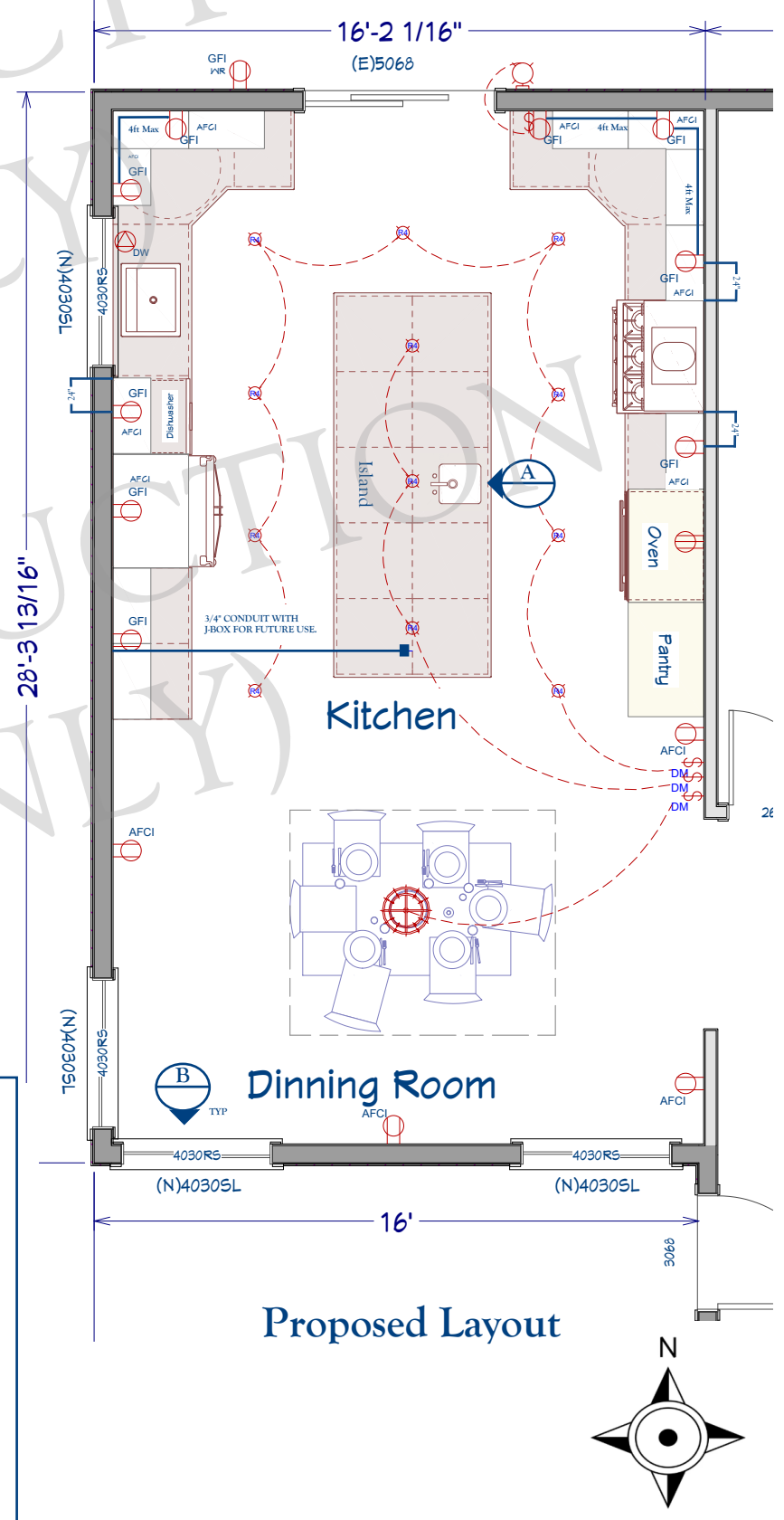
Project Specific Requirements:

- Kitchen shall be provided with minimum 180 CFM exhaust hood.
- Underfloor areas shall be provided with R-19 insulation
- All open exterior walls shall be insulated with R-15 in 2x4 framing and R-21 in 2x6 framing.
- If the ceiling/attic area is open, provide R-38 ceiling insulation. If the altered roof/rafter space is open, provide R-19 insulation,
- All relocated gas lines shall comply with 2025 CPC chapter 12 and shall be under test when requesting gas inspection.
- All windows shall have a maximum U-factor of 0.27 and maximum SHGC of 0.23.
- All Domestic hot water lines shall be insulated.

City Stamp:



SYMBOL	DESCRIPTION	COMMENTS
(Circle with 220V)	220V	
(Circle with AFCI)	AFCI	
(Circle with CHANDELIER)	CHANDELIER	
(Circle with DW)	DISHWASHER	
(Circle with GFI)	GFI	
(Circle with SD)	SMOKE DETECTOR 1	
(Circle with CO/SD)	CO/SMOKE DETECTOR	
(Circle with PORCH LANTERN)	PORCH LANTERN	
(Circle with R4)	RECESSED DOWN LIGHT 4	
(Circle with DM)	SINGLE POLE DIMMER	
(Circle with DM)	SINGLE POLE SLIDING DIMMER	
(Circle with S)	SWITCH (DECORATOR)	



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NUMBER	DATE	

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 Phone# 925-XXX-XXXX

PROPOSED LAYOUT

DRAWINGS PROVIDED BY:
 XXXXX Construction
 Company
 name / Address / Phone #
 Mike Smith: Signature

DATE:
 3/14/2026

SCALE:
 1/2" = 1'

SHEET:
 A2