



MARIPOSA RANCH

at Callippe Preserve

EXHIBIT A

CITY APPROVED

April 2005

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PLANNING C*

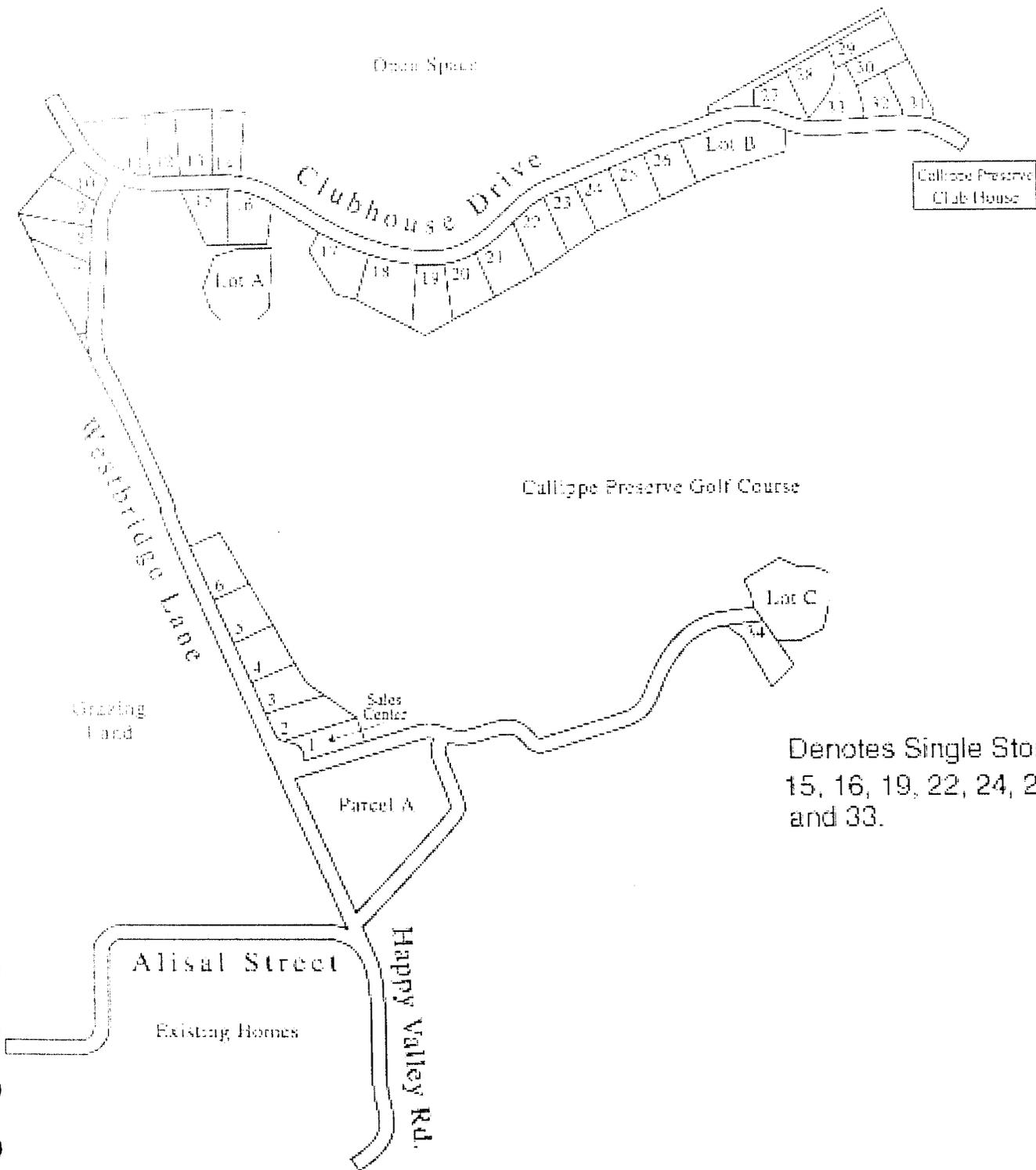
*PER CITY
COOP*

 **LOVING & CAMPOS**
ARCHITECTS INC.

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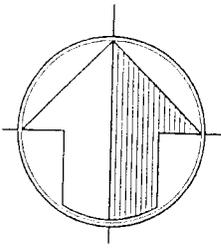
Callippe Preserve Golf Course

Open Space

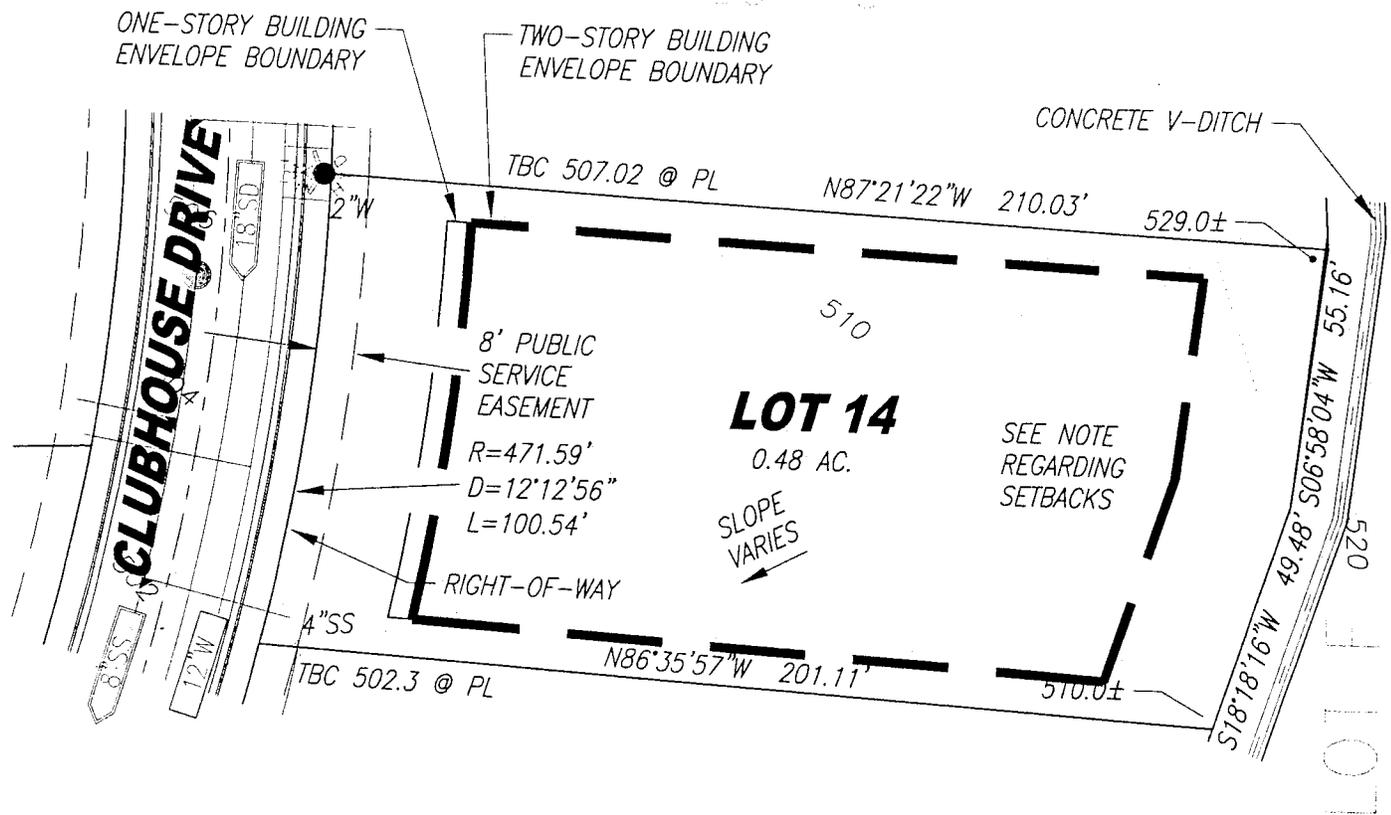


Mariposa Ranch at Callippe Preserve Disclaimer:

1. Please review all documents prior to purchase.
2. Exhibit A Booklet is for the following Lots only: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, & 34.
3. Previously approved designs for neighboring sites may affect the design requirements for your site. Verify all site design constraints with the DRB.



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LOT F

**PLOT PLAN
LOT NO. 14**

CREEGAN+D'ANGELO
Consulting Civil and Structural Engineers

FAIRFIELD, MONTEREY, PLEASANTON, SAN FRANCISCO, SAN JOSE

APPROVED BY:

EXP. DATE MARCH 31, 2005

DRAWN BY:

H.R.P.

DATE:

MAY 2004

CHECKED BY:

G.E.H.

SCALE:

1" = 40'

APPROVED BY:

G.E.H.

JOB NO:

497022.90

**Vesting Tentative Subdivision Map 7372
Final Residential Architectural Development Standards
and Design Guidelines**

August 28, 2002

I. Goals

- A. Design of the home and accessory structures should be in keeping with the semi-rural neighborhood character of the area.
- B. The architectural design of the home including materials, detailing, style, and colors, should be high quality and complementary to the overall design.
- C. The mass, size, and scale of the building, including proposed setbacks, should be appropriate for the area and physical features.
- D. The site plan, landscape, and home design should respect the surrounding features and preserve views of the hillsides and the golf course.
- E. The home and accessory structures should be sited and designed to complement adjacent architectural building style, building massing, and provide for privacy.

II. Guidelines

A. Site Planning

- 1. The house, accessory structures, and uses shall conform to the requirements of the R-1-20,000 zoning district regulations except as modified by the Happy Valley Specific Plan and these guidelines.
- 2. The design, location, and orientation of dwelling units should augment the physical features of the land and adjacent structures. Design considerations shall include: appropriate pad and floor elevations, views from proposed windows of adjacent yards and living spaces, and proper location relative to the trees and other structures.
- 3. The siting and height of homes and accessory structures located in the vicinity of the northern property line of the golf course properties shall be established based on providing the maximum view potential of the golf course from the southern Alisal Street area.
- 4. Golf course homes should be designed to enhance the view of the golf course area from the by-pass road. New golf course homes visible from the by-pass road should be designed and orientated to enhance the view of the area.

5. The elevations of the homes along the by-pass road shall be designed and detailed to appear as front elevations, with the exception of Lot 10. The side elevation of Lot 10 adjacent to the by-pass road shall receive special design detail and treatment.
6. All structures should conform to the grades established by the final grading plan to the greatest extent possible.
7. Setbacks:

The setbacks detailed below are the minimum required development standards. Project developers are encouraged to exceed the minimum standards when ever possible. During the design review process, greater setbacks may be required based on site-specific design review considerations.

a. Front Yard

- Garages

Front Entry Garages :	30' Min.
Two-Story Side Entry Garages:	25' Min.
Single-Story Side Entry Garages:	25' Min.

Note: A single-story side entry garage may encroach an additional five feet into the required setback provided the garage and visible elevations of the home contain a significant portion of natural appearing materials, the mass of the garage structure is minimized, and the encroaching area is screened by additional large specimen trees (24 inch box size) and shrubs (15 gallon size). No two adjacent homes may utilize this provision.

- Homes

One Story Elements:	25' Min.
Two Story Elements:	30' Min.
Porch:	20' Min.

Note: In no case shall occupied living space encroach within the earthquake fault zone. Non-occupied garage space may encroach within the fault zone provided that the minimum setbacks and City building codes are met.

b. Side Yard

- Homes with a Front Entry Garage: 10' Min./25' Total
- Homes with a Side Entry Garage: 7' Min./25' Total
- Corner Lot Sideyard Setback: Twice the Minimum Interior Side Yard Setback
- Lot 31 south side: 30' 0"

- c. Rear Yard
 - Rear yard setback: 25' 0" minimum
 - Lots 29 and 30: 50' 0" minimum
- d. Building-to-Building Separation: 25' 0" minimum

Note: Adjacent homes with adjacent single-story building elements may encroach an additional five feet into the required building separation setback provided that the minimum side yard setbacks are being maintained, the elevations of the homes contain a significant portion of natural appearing materials, and the mass of the adjacent elevations are minimized. This additional allowance does not apply to Lots 4 through 6.

Note: The minimum building-to-building separation between Lots 4 through 6 shall be 75 feet.

- e. FAR Definition: Maximum FAR for the lots is 25% excluding 700 square feet of garage space.
 - f. Drainage Channel Setback: A minimum 10 foot setback for all structures shall be maintained from the building envelope line located along the drainage channel generally located between Lots 28 and 33.
7. The homes on the following lots are restricted to single-story: Lots 5, 15, 16, 26, 27, 33, and Lot "B".
 8. A minimum of three additional single story dwelling units shall be located between lots 18 through 25. Unless otherwise approved as part of a comprehensive design review application for these lots, Lots 20, 22, and 24 shall be limited to single story units.
 9. Maximum house height shall be 30 feet for two-story homes and 24 feet for one-story homes measured from lowest pad grade to the highest roof peak.
 10. At least two garage parking spaces shall be provided for each new home. A minimum of four on-site visitor-parking spaces shall be provided for each new home.

B. Architecture

1. Informal architectural styles such as Craftsman, California Bungalow, American Farmhouse, Prairie, and ranch-styles homes are strongly encouraged while formal architectural styles such as Mediterranean, Neo-colonial, European Estate or similar are strongly discouraged. "A" frames and geodesic domes are prohibited.
2. Building mass shall recognize views of adjacent properties and minimize the blocking of such vista corridors, where appropriate.

3. Pitched gable and hip-roof forms, rather than flat roofs are strongly encouraged. Structures with roof slopes less than a four-and-twelve pitch are discouraged. Dormers are encouraged to accommodate second-story elements rather than flat, vertical walls.
4. All exposed exterior metals, including flashing; chimneys, vents, crickets, and metal window frames shall be treated to prevent bright or highly reflective surfaces.
5. Quality architectural design is encouraged. Visually interesting designs, as opposed to flat walls without detailing, are required on each facade. Design features and detailing should be utilized to lessen the impact of two story facades.
6. The visual prominence of garage doors should be minimized and the landscape plan shall arrange landscaping to block views of garages wherever possible.
7. The garages should be located so that not more than three doors face the fronting road and the use multiple doors rather than single large doors is encouraged to assist in detailing the garage elevation. Where three doors face the fronting road, at least one of the garage doors shall be set back a minimum of five feet from the other two garage doors.
8. Side entry garages are encouraged, and there shall be no more than three consecutive lots with more than two garage doors facing the street.
9. All exterior-building elevations shall be designed with similar or complementary elements with regard to color, texture, material, architectural form and detailing.
10. Roof shape, color, and texture shall be compatible with the color and architectural treatment of exterior walls.
11. Balconies from upper levels of single-family residences shall generally be in keeping with the scale and character of the house.
12. Design should consider the privacy of neighbors when locating windows, doors, balconies and patios.
13. The scale, architectural style, and building mass should be compatible with adjacent homes and the semi-rural character of the area.
14. Be consistent in architectural style in all design and detailing. Continue and coordinate the design on all sides of the structure.
15. Material used should be complementary to the overall appearance of the building. Stucco may be only used when complemented by the use of other natural material (stone, masonry, or horizontal siding).

16. All second story openings should be properly trimmed or otherwise treated. Such treatment should be compatible with the architectural style of the structure.
17. The inclusion of rural informal design elements (such as dormers, covered porches, side entry and detached garages) that facilitate neighborhood interaction and add visual interest to the homes is strongly encouraged.
18. House entries and porches should be oriented to the road frontage.
19. One-story structures are strongly encouraged. One and two story design combinations are acceptable. Two-story structures may be permitted if the building masses are broken up with attached one-story elements.
20. Special attention shall be considered in the placement and configuration of the homes adjacent to the driving range in order to limit noise related impacts. In particular, limiting the size and location of windows facing the driving range, the use of special sound attenuation windows with higher STC ratings, and locating bedrooms away from the driving range should all be considered as part of the design review process.

C. Grading

1. Minor alterations to the final grading plan for site specific design considerations may be approved in conjunction with individual design review applications and in no case shall the grade at the property line be changed from the grades shown on the final grading plan.
2. Lots 9 through 14 shall be developed under a split-pad design configuration.
3. The use of visible retaining walls greater than five feet and pony walls greater than three feet is prohibited.

D. Fences

1. Fences and gates should be designed with the principal structure in regards to style and materials and should complement neighboring fencing.
2. Maximum fence height shall be six feet. Fences up to eight feet may be permitted subject to the City's standard overheight fence administrative design review process where it can be shown that the added height of the fence will not have visual impacts and is needed to address privacy impacts.
3. A fence plan shall be submitted in conjunction with a design review application. All fencing along the rear boundary shall be of an open fence design of tubular steel fence panels or welded wire framed with decorative pilasters at each fence corner and at each material change. Solid wood fencing is only permitted along the side yard property lines five feet behind the front corner of the house to 30 feet beyond the rear most corner of the house, provided that the end of the solid

fence maintains a 30 foot rear yard setback. At this point the open fencing shall begin, enclosing the rear property. The final design selection of the open fence design shall be made in conjunction with the first design review application for the new home sites.

4. All fencing along side yard property lines adjacent to a public street shall be of an open design.
5. Any permitted fencing along the drainage channel between Lots 28 and 33 shall be of an open design.

E. Landscape

1. Select trees and shrubs suitable for this climatic zone. Use native plants wherever possible and/or appropriate. Drought tolerant, fire retardant and deer resistant varieties are encouraged.
2. Design landscaping to create and provide a pleasing appearance from within and off the site to fit its semi-rural character.
3. Each lot shall be planted with a minimum of one tree for each 750 square feet of lot area. Two, 24-inch box-size street trees, of a variety approved during the design review process, shall be planted for each lot frontage. At a minimum not less than 30% of total tree planting shall be 24-inch box-size trees. A 36-inch box-size tree may be substituted for two, 24-inch box-size, non-street trees. The remaining 70% of tree planting shall be clusters of flowering accents augmented by stands of individual theme trees as provided in the draft Planting Palette.
4. All private property adjacent to existing open space shall incorporate a minimum 30-foot wide wetted perimeter of broad spreading fire-retardant ground covers to be automatically irrigated and maintained by the homeowner.
5. Insure that landscaping provides for adequate sight distance for motorists and pedestrians entering, exiting, or passing the property.
6. Design irrigation systems so that no runoff occurs from the site to adjoining properties.
7. Low water consumption, automatically actuated irrigation systems should be used whenever possible and/or appropriate.
8. Landscape design shall be used to complement the structure by accenting the structures aesthetic strengths and reducing any shortcomings.
9. The Design review application shall include a landscape plan. The use of a Landscape Architect for preparation of landscaping plans is strongly encouraged.

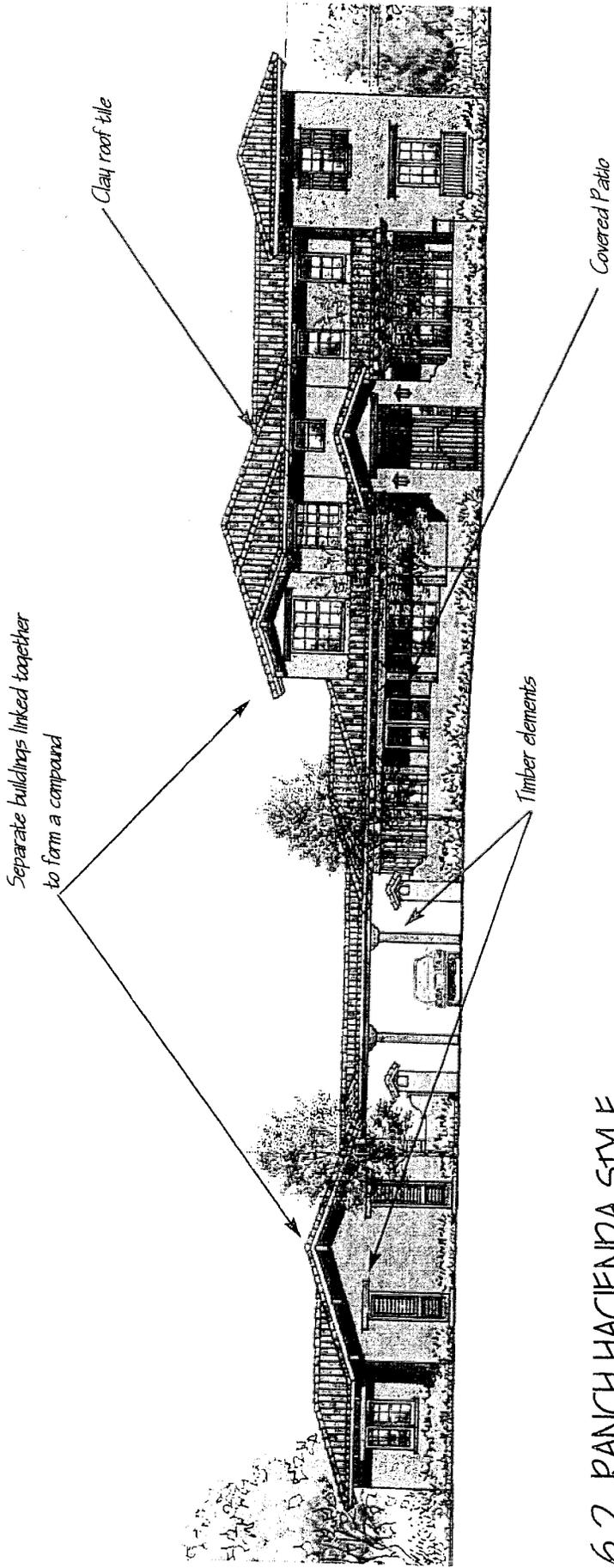
10. Should any construction or grading be proposed within the driplines of any existing trees, a tree report shall accompany the design review application.
11. Formal plantings around the home shall be transitioned to informal low water requiring native landscaping near the lot line.
12. Within three months of occupancy, a rear yard landscape plan shall be submitted to the Planning Director for review and approval. No rear yard landscaping shall be installed unless approved by the Planning Director.
13. All landscaping shall be installed within six months of occupancy.

F. Lighting

1. Design all exterior lighting as an integrated design element with the building, materials, and colors. All exterior lighting shall be subdued in brightness.
2. Locate exterior lighting so as not to impact neighbors or street traffic.
3. The entrance to each lot shall include an ornamental carriage type streetlight or illuminated pilaster that is designed to match the architectural style of the home. Maximum height of the streetlight shall be 16 feet and the illuminated pilaster shall be five feet.
4. There shall be no rear yard pole lighted recreational facilities; such as, tennis courts, sports courts, etc.

G. Accessory Structures

1. Accessory structures shall conform to and be located in accordance with the R-1-20,000 zoning district regulations, except as modified herein. Structures over ten feet in height shall have a five foot side yard setback and a 10 foot rear yard setback and shall be located to prevent visibility impacts to or from the golf course.
2. Accessory structures and mailboxes shall be designed, constructed, and detailed with compatible materials to match the home.
3. Pre-fabricated accessory structures are discouraged.
4. Design review of all accessory structures shall be in accordance with the R-1-20,000 accessory structure review, and processes.
5. No accessory structure shall be located at an elevation more than five feet higher than the house pad elevation.



6.2 RANCH HACIENDA STYLE

Western ranching traditions and California's Spanish legacy are embraced by the rustic and rugged Ranch Hacienda style, which is typically characterized by an enclosed or semi-enclosed courtyard or hidden garden. Use of indigenous materials such as stone and timber is characteristic of this architecture, as are deep covered porches, wrap around verandas, picture windows, and detached garages or guest quarters.

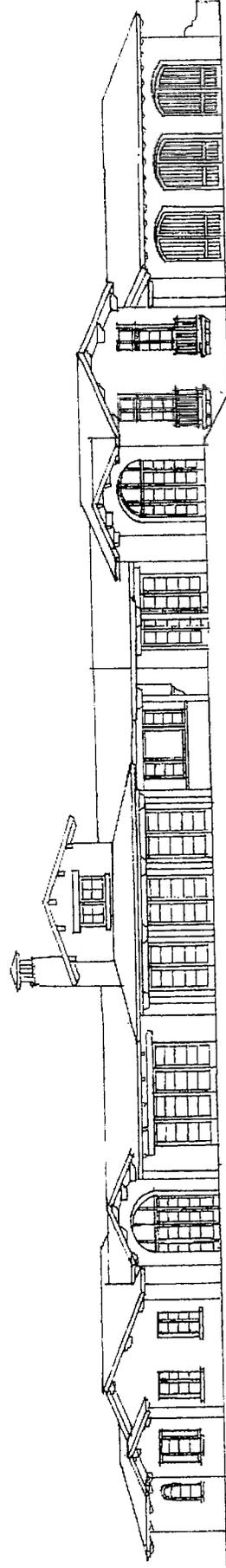
Typically covered passageways are used to link separate buildings together, establishing a larger mass and creating a compound. However, forms are somewhat random and asymmetrical.

Traditionally, the Hacienda would have been built over time, with additions evolving in response to a growing family or a growing ranching enterprise. The structure and the detailing are simple and the building profile is generally horizontal. The home extends to the out-of-doors through the use of loggias, column lined galleries and covered patios. The building materials are almost exclusively stone and exterior plaster, yielding a somewhat rustic look and blending the built environment with its natural setting. Covered terraces, massive stone chimneys, timber elements, water features and clay tiled roofs are also a part of this casual and informal style.

RANCH HACIENDA MASSING CRITERIA

Long rectangular structure built low to the ground and emphasizing the horizontal plane. Expansive floor plans and creation of outdoor spaces spaces and courtyards along with covered walkways may yield an L, U, O, C, or H shaped plan.

Any two-story mass requires a transition to a single story mass at the front corner and side.



Mariposa Ranch At Callippe Preserve
Chapter Six

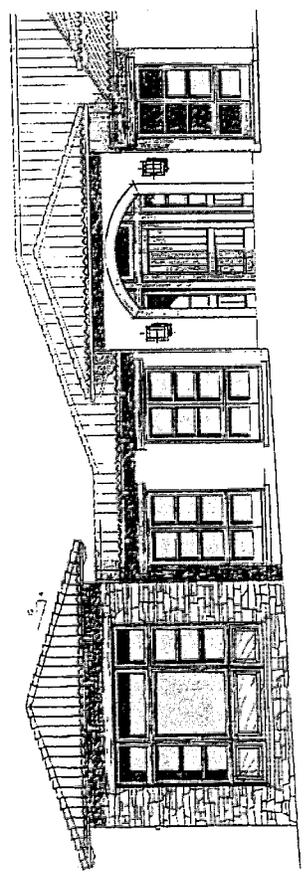
RANCH HACIENDA BUILDING - ELEMENTS & FORMS

ROOFS

Predominantly gable or shed roofs with the use of shed or hip roofs over terraces. Hip roofs possible, but rare historically.
Pitch ranges from 4/12 to 6/12 with occasional lower slopes at shed roofs, generally over terraces.

Clay barrel tile:

- Coloration should not be monochromatic or have high contrast from tile to tile.
- Color range should draw from deep browns.
- Horizontal alignment can be slightly irregular.

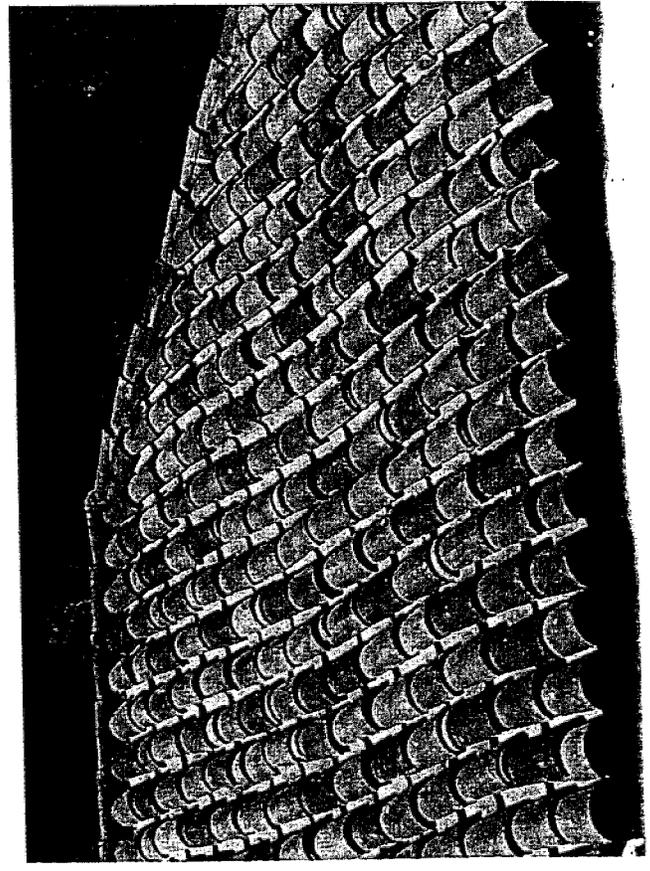


Metal:

- Painted corrugated or standing seam metal roof may be considered with a low glare/ gloss finish required. This roof style may be denied depending on the specific lot location. This type of roof must be used with caution due to the glare potential.
- Finishes in rusted metal or zinc are encouraged because they have a very rich color with a dull finish.
- Natural galvanized metals are discouraged unless they are treated to a natural dull finish.

Composition Shingle:

- Not appropriate for this style.



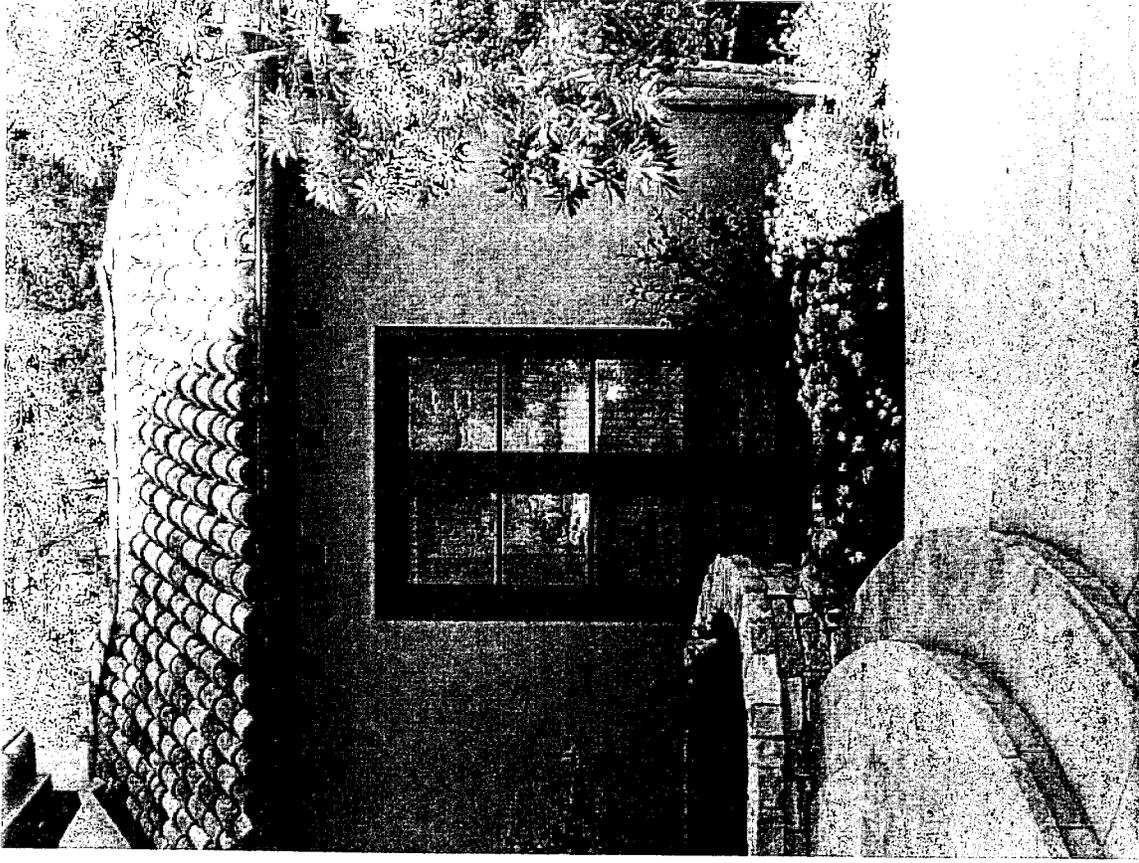
WALLS

Stucco only (Smooth to medium finish - mottled finishes possible) or combined with a stone base.

Stone only or used as wainscot and accent masses.

Traditional Western brick (rather than Eastern); used brick discouraged.

Stucco color standard draws from tans, terra cotta, and earth tones. Brick colors range from warm brown shades to cooler reds.

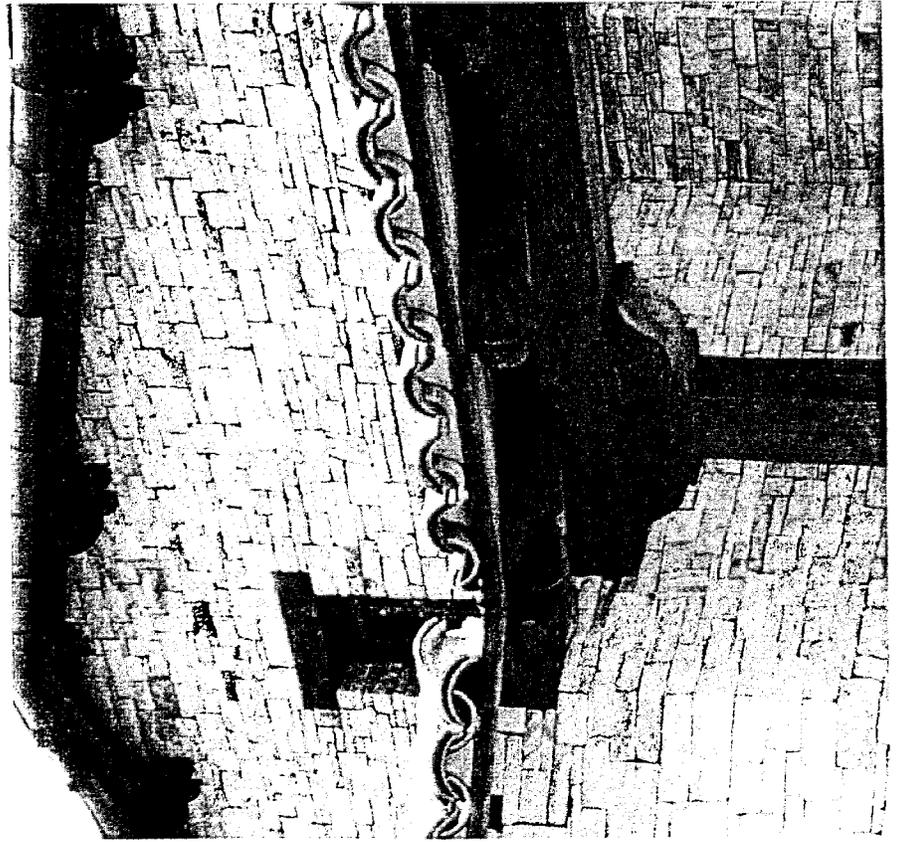


STRUCTURAL ELEMENTS

Utilizes predominately square wood posts, beams, post to beam brackets, kicker brackets and rafter tails.

Square masonry or stucco pilasters.

Wood or concrete headers.



TRIM DETAILS & ORNAMENTATION

- Trim details in blackish browns, deep chocolate browns, or bronzes.
- Black wrought iron or rustic metal railings, gates, grilles, fences and the like.
- Exposed wood rafters and trusses.
- Beam to post corbel details.
- Some use of planked wood shutters.
- Juliet balcony detail.
- Limited use of arches.
- Masonry or stone chimneys. Simple chimney details.
- Native stone walls.
- Fountains.

