

RECEIVED MAY 30, 2014

WRITTEN NARRATIVE

On May 13, 2014, the City of Pleasanton approved the CarMax project (PUD-98) on the 19.66 acre westerly portion of Staples Ranch Lot 1 (formerly the Hendrick Auto Mall site).

This project consists of the proposed subdivision and development of the remaining 16.10 acre easterly portion of Staples Ranch Lot 1, to permit the construction and operation of up to three separate automobile franchises for new and used cars and trucks. The northerly 5.3 acre portion of the site (Lot 1) would be developed with a Chrysler//Dodge/Jeep franchise, allowing the immediate relocation of the current franchise from Dublin. The remaining portion of the site would be subdivided into two lots, to permit the future development of two additional franchises. Because these additional franchises have not been identified at this time, planning for the remainder of the site is conceptual. Lastly, it is proposed to amend the Stoneridge Drive specific plan. The amendment consist of allowing access along El Charro.

Chrysler/Dodge/Jeep Franchise on Lot 1

Lot 1 of the proposed project is approximately 5.32 acres, located at the northern portion of the site, directly adjacent to the CarMax project. The Chrysler franchise development includes approximately 33,000 square feet of building, including approximately 18,592 square feet of showroom, office and parts storage on two floors, approximately 13,200 square feet of vehicle service area, and 1,250 square feet of car wash area. The remainder of Lot 1 will be utilized for display, customer, employee and service parking, totaling 400 spaces. The dealership is anticipated to have an average of 40 employees.

This site will be accessed from the northern portion of the shared private roadway with CarMax, utilizing an entrance directly across from the northerly CarMax entrance. Customers will drive into the dealership from Stoneridge Drive via the shared access road, park in the designated customer parking areas adjacent to the dealership facility and walk directly to the dealership entrance. A sales and service customer lounge and waiting area will be located in the middle area of the dealership facility. Customers will pick up their vehicles in a designated vehicle delivery area adjacent to the dealership facility in the service area.

Planned hours of operation are:

Vehicle Sales Department:

Monday through Saturday 9:00 am to 9:00 pm

Sunday 9:00 am to 8:00 pm

Vehicle Service Department:

Monday through Friday 7:00 am to 6:00 pm

Saturday 8:00 am to 5:00 pm

It is expected that, on average, there will be three (3) transport carrier deliveries of new and used vehicles per week. Vehicle transport deliveries will occur on the dealership premises adjacent to the dealership. Vehicle deliveries will be subsequently parked in marked parking spaces adjacent to the dealership's service department. Deliveries of parts and accessories will occur on a daily basis Monday through Friday, and will occur on the premises adjacent to the parts delivery area.

The dealership will have a car wash and auto detailing area located at the rear of the service department. There are no plans at this time for a paint booth at the dealership.

There are no plans at this time for any motorcycle, RV, Boat or Trailer –related uses at the dealership. There are also no plans at this time for any temporary tents.

Future Dealerships on Lots 2 and 3

Because no specific franchises have been identified at this time for the 3.51 acre Lot 2 or the 7.26 acre Lot 3, the proposal only shows a conceptual circulation, building and parking layout for these sites. Lot 2 could be developed with a dealership not to exceed 27,500 square feet. Primary access would be from Stoneridge Drive, via the southern portion of the shared roadway with CarMax. It is anticipated that hours of operation and truck deliveries would be similar to Lot 1.

Lot 3 could be developed with a future dealership up to 60,000 square feet in size. Primary access would be from a new access point off of El Charro Road (right-turn-in only) and from the shared CarMax roadway. It is anticipated that hours of operation and truck deliveries would be similar to Lot 1. All vehicle egress would be the shared roadway and signalized intersection at Stoneridge Drive.

The total permitted square footage for the three lots would be the same as what was approved for this portion of the Hendrick auto mall project (approximately 120,500 square feet).

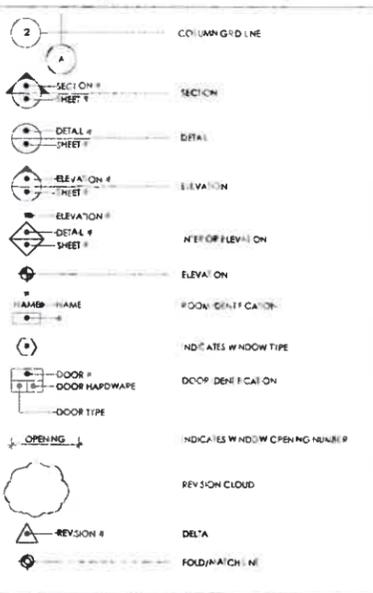
Specific Plan Amendment

This amendment is to Section G Staples Ranch Development Design Standards sub section 1.2.1 which states “limit vehicular access to the site to Stoneridge Drive, with no vehicular access to El Charro” Our proposed plan modifies this section to allow an entrance only access from El Charro to Lot #3.

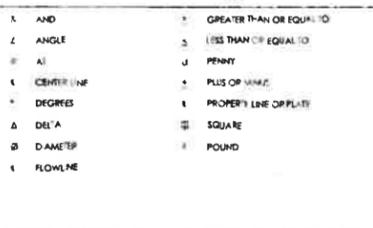
ABBREVIATIONS

A.B.	ANCHOR	18	POUR
A.C.	ASPHALT CONCRETE	19	LINE FOOT
A.C.	ASPHALT CONCRETE	20	LIVE LOAD
A.C.	ASPHALT CONCRETE	21	LUG SCREW
A.C.	ASPHALT CONCRETE	22	LOCKER
A.C.	ASPHALT CONCRETE	23	LOW POINT
A.C.	ASPHALT CONCRETE	24	LOW POINT
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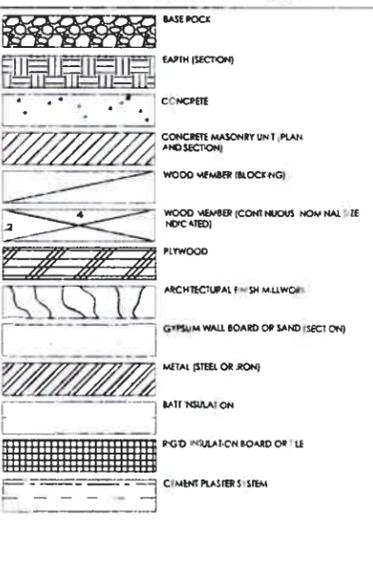
DRAWING SYMBOLS



SYMBOLS



MATERIAL SYMBOLS



CODES & ABBREVIATIONS

ALL WORK SHALL CONFORM WITH CODES, REGULATIONS OR ORDINANCES ADOPTED BY CITY OF SAN JOSE

2010	C.B.C.	CALIFORNIA BUILDING CODE
	U.M.C.	UNIFORM MECHANICAL CODE
	U.P.C.	UNIFORM PLUMBING CODE
	C.F.C.	CALIFORNIA FIRE CODE
	C.M.C.	CALIFORNIA MECHANICAL CODE
	C.P.C.	CALIFORNIA PLUMBING CODE
	C.E.C.	CALIFORNIA ELECTRICAL CODE
2008	N.E.C.	NATIONAL ELECTRICAL CODE
	C.C.R.	CALIFORNIA CODE OF REGULATIONS
	C.E.Q.A.	CALIFORNIA ENVIRONMENTAL QUALITY ACT
	B.A.S.W.A.	BAY AREA STORMWATER MANAGEMENT AGENCY ASSOCIATION
	C.A.Q.A.	CALIFORNIA STOP WATER QUALITY ASSOCIATION
	R.W.Q.C.B.	REGIONAL WATER QUALITY CONTROL BOARD
	S.W.R.C.B.	STATE WATER RESOURCES CONTROL BOARD
	B.A.Q.M.D.	BAY AREA AIR QUALITY MANAGEMENT DISTRICT
	N.F.P.A.	NATIONAL FIRE PROTECTION ACT
	A.I.S.S.	AUTOMATIC FIRE SPRINKLER SYSTEM
	F.D.C.	FIRE DEPARTMENT CONNECTION

PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
AUTOMOBILE SALES AND SERVICES
STAPLES RANCH AUTOMALL
PLEASANTON, CALIFORNIA



PHASED PLANTING PLAN DEPICTION



SCOPE OF WORK

PROPOSED IMPROVEMENTS AND CONSTRUCTION OF A NEW CHRYSLER DODGE JEEP AUTOMOBILE SALES AND SERVICE BUILDING AT THE AREA OF THE PROPOSED NEW BUILDING IS APPROX 2,000 SQUARE FEET

COMPANY PROFILE

Chrysler Group LLC formed in 2009 to establish a good strategic alliance with Fiat S.p.A. products Chrysler, Jeep, Dodge, Ram, Fiat and Mopar vehicles and products. With the resources for technology and worldwide distribution network required to compete in a global market, the alliance builds on Chrysler Group's culture of innovation, first established by Walter P. Chrysler in 1925, and Fiat's complementary technology that dates back to its founding in 1819.

DRAWING INDEX

OVERALL	ARCHITECTURAL
A0.1 COVER SHEET & NOTES	A1.1 SITE PLAN
C1.0 EXISTING TOPOGRAPHIC SURVEY	A2.1 ENLARGED SITE PLAN
C2.0 UTILITY CONCEPT PLAN	A2.2 SCHEMATIC FLOOR PLAN
C3.0 PRELIMINARY FIRE DEPARTMENT & TURNING PLAN	A2.3 ENLARGED SCHEMATIC 1ST FLOOR PLAN
C4.0 PRELIMINARY GRADING & DRAINAGE	A2.4 ENLARGED SCHEMATIC 2ND FLOOR PLAN
C5.0 PRELIMINARY UTILITY PLAN	A2.5 SCHEMATIC ROOF PLAN
C6.0 PRELIMINARY STORMWATER PLAN	A2.6 EXTERIOR ELEVATIONS
	A2.7 EXTERIOR ELEVATIONS

LANDSCAPE

L1.0 CONCEPTUAL LANDSCAPE PLAN	ELECTRICAL
L2.0 LOT #1 PRELIMINARY PLAN	OVERALL LOT #1 PHOTO/METRIC
L3.0 LOT #1 SHOWROOM PLAZA	
L4.0 PRELIMINARY LANDSCAPE DETAIL	
L5.0 IRRIGATION WATER USE NOTES	

PROJECT DIRECTORY

OWNER	ARCHITECT
PLEASANTON CHRYSLER JEEP DODGE CONTACT: MATTHEW ZANEH 4100 STEVENS DRIVE BLDG 400 SAN JOSE CA 95131	HABITEC ARCHITECTURE CONTACT: JOHN GUTENRECHT 111 W. ST. JOHN ST. STE 150 SAN JOSE, CA 95131 (415) 408-9700 (415) 408-2962
CIVIL	LANDSCAPE ARCHITECT
RUDIGER, JESSEN, AZAR CONTACT: JESSEN AZAR 4890 CHABOT DRIVE SUITE 200 PLEASANTON, CA 94568 (925) 221-9100 F: 925-227-1300	ANDERSON, HIGGINS, LANDSCAPE ARCHITECTS CONTACT: ANDREW HIGGINS 1100 NORTH ROADWAY SUITE 160 WALNUT CREEK CA 94596 (925) 939-2100

SITE DATA

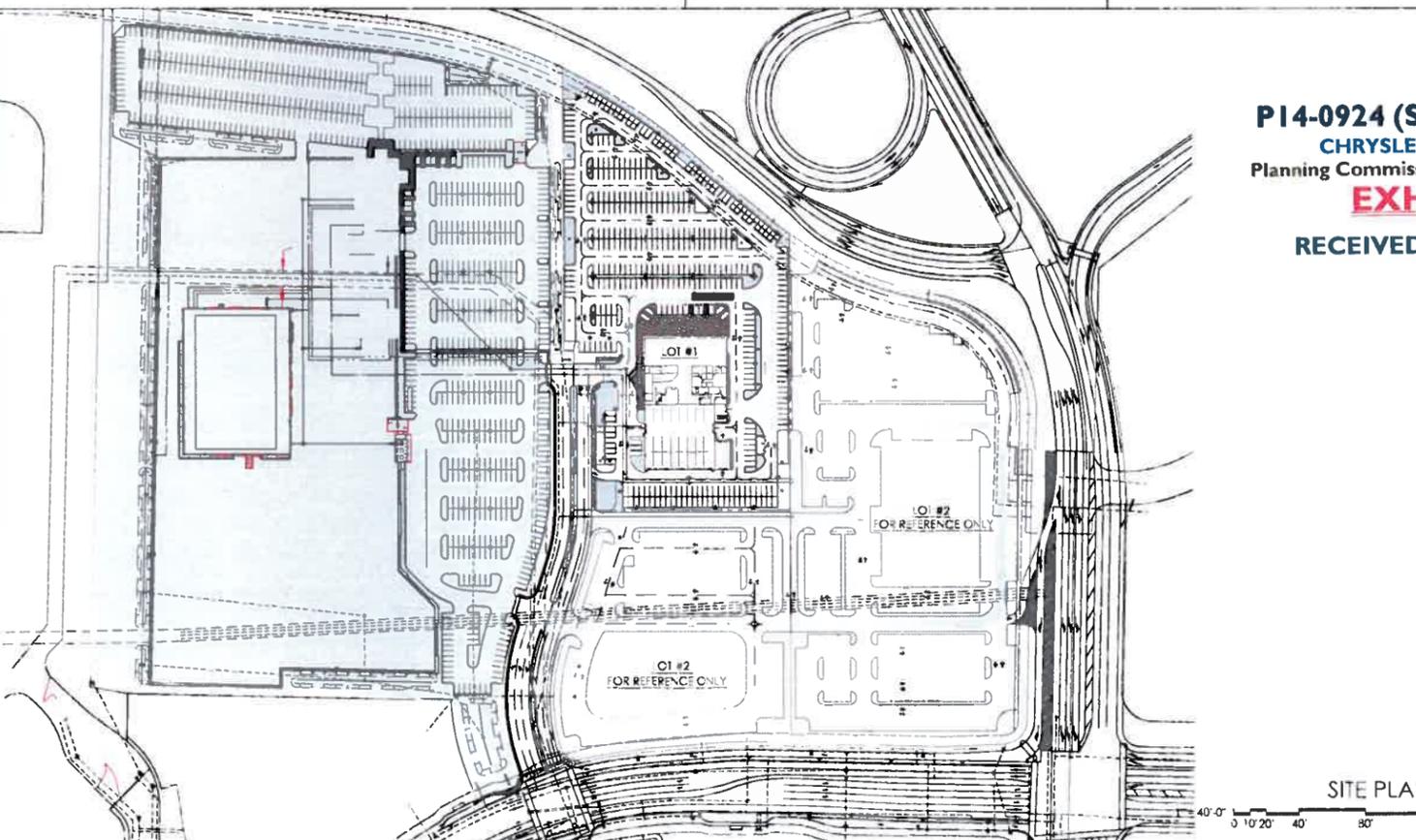
APN NUMBER	STAPLES RANCH SITE PLAN #1
ACREAGE	16.25 ACRES
BUILDING LOT #1	31,792 SF
PARKING STALLS LOT #1	400 (SEE SHEET A1.2 FOR ADDITIONAL BREAKDOWN)

habitec
architectural interiors design
111 W. ST. JOHN ST. STE 150
SAN JOSE, CA 95131
(415) 408-9700
(415) 408-2962



PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
STAPLES RANCH AUTOMALL
PLEASANTON, CALIFORNIA

P14-0924 (SPA) / PUD-106
CHRYSLER-JEEP-DODGE
Planning Commission Workshop 07.23.14
EXHIBIT B
RECEIVED MAY 30, 2014



REVISIONS

PRELIMINARY PLANNING REVIEW	02/20/14
PUD SUBMITTAL	05/21/14

COVER SHEET GENERAL INFORMATION, SYMBOLS & ABBREVIATIONS

Scale: 0/20/40
Date: 02/20/14
Sheet: 1/1
Drawing: JG
Scale: 1/328
Title: A0.1



LEGEND

- PROPERTY LINE
- BIO-RETENTION AREAS
- SHRUB & GROUND COVER PLANTING
- LAWN

PARKING ANALYSIS - LOT 1

PARKING TYPE	STANDARD STALLS	ACCESSIBLE STALLS	TOTAL
VISITOR PARKING (VP)	26	2	28
EMPLOYEE PARKING (EP)	30	2	32
SERVICE PARKING (SP)	63	NOT REQUIRED	63
DISPLAY PARKING (DP)	153	NOT REQUIRED	153
TOTAL	401	4	405

LOT 1 TREES	TREES REQUIRED	TREES PROVIDED
RATIO: 1 TREE PER 6 SPACES	68	68

LANDSCAPE ARCHITECTS

1700 North Broadway, Suite 100
Walnut Creek, CA 94596
Telephone: 925-939-8242
Fax: 925-939-8242
Email: info@mdherringham.com
License: 51617

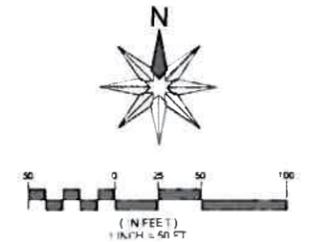
CHRYSLER/DODGE/JEEP DEALERSHIP

REVISIONS
01.16.14
01.23.14 SITE REVISION

**Lots 1, 2, 3
Conceptual
Landscape Plan**

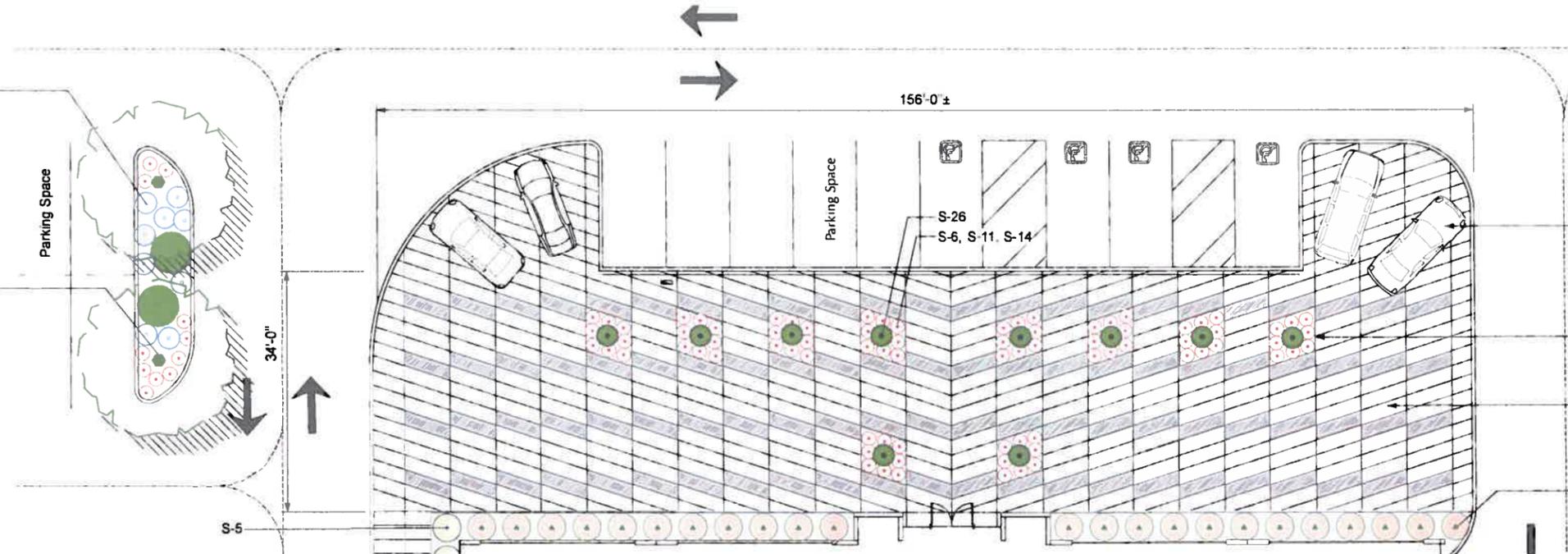
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LOW SHRUBS & GROUND COVERS
S-9, S-11, S-15, S-16

PARKING LOT TREES - T-1 OR T-4



DISPLAY AUTOS

PLANTERS - 3 FEET HIGH

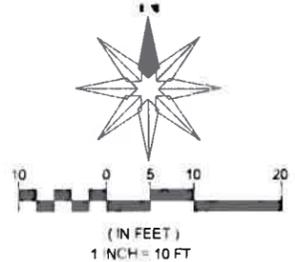
CAST IN PLACE CONCRETE WITH ONE INTEGRAL COLOR AND TWO FINISHES EXPANSION JOINTS WITH SAWCUT PATTERN AS SHOWN

S-12 OR S-23

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	EXPOSURE	WATER DEMAND	SPACING	FLOWER/FOLIAGE COLOR	SIZE	SALT SPRAY TOLERANCE	SOIL SALT TOLERANCE
TREES									
T-1	Zelkova serrata 'Village Green'	Sawleaf Zelkova	SW, SW-NE	Medium	See Plan	Yellow Fall Foliage	24" BOX	Undocumented	Undocumented
T-2	Cedrus deodara	Deodar Cedar	SW	Low	See Plan	Evergreen	24" BOX	T	T
T-3	Lagerstroemia 'Muskogee'	Lavender Crape Myrtle	SW	Low	See Plan	Lavender/Orange	24" BOX	Undocumented	Undocumented
T-4	Pyrus calleryana 'Capital'	Flowering Pear	SW	Medium	See Plan	White, Red Foliage	24" BOX	H	H
T-5	Quercus agrifolia	Coast Live Oak	SW	Low	See Plan	Evergreen	24" BOX	T	T
T-6	Parkinsonia aculeata	Mexican Palo Verde	SW	Low	See Plan	Yellow, Yellow Fall Foliage	24" BOX	H	H
ST-1	Platanus a. 'Columbia'	London Plane Tree	SW	Medium	See Plan	Tan Foliage	24" BOX	Undocumented	Undocumented
SHRUBS									
S-1	Ceanothus 'Centennial'	Spreading California Lilac	SW	Low	8'0"	Dark Blue Blossom	5 GAL	Undocumented	Undocumented
S-2	Agave 'Blue Glow'	Dwarf Fox Tail Agave	SW, SW/NE	Low	3'0"	Blue-green Foliage	5 GAL	H	H
S-3	Aloe vera	Medicinal Aloe	SW	Low	3'0"	Yellow/Evergreen	5 GAL	H	H
S-4	Buxus m. japonica	Japanese Boxwood	SW/NE	Medium	3'0"	Non-descript	5 GAL	T	T
S-5	Callistemon c. 'Little John'	Dwarf Bottlebrush	SW/NE	Low	4'0"	Red/Evergreen	5 GAL	T	T
S-6	Delosperma 'Alba'	White-trailing Ice Plant	SW	Low	1'6"	White/Evergreen	1 GAL	H	H
S-7	Drosanthemum hispidum	Rose Ice Plant	SW	Low	3'0"	Dark Pink/Evergreen	1 GAL	H	H
S-8	Rosa 'Medeland'	Ground Cover Rose	SW	Low	8'0"	White or Pink Flowers	5 GAL	Undocumented	Undocumented
S-9	Escallonia rubra	NCN	SW	Medium	6'0"	Pink/Evergreen	5 GAL	H	H
S-10	Ficus pumila	Creeping Fig (Vine)	SW	Medium	5'0"	Evergreen	1 GAL	H	T
S-11	Gazania 'Fiesta Red'	Clumping Red Gazania	SW	Medium	2'0"	Red/Evergreen	1 GAL	H	H
S-12	Ilex vomitoria 'Nana' or 'Starks'	Dwarf Yaupon	SW	Low	4'0"	Red berries/Evergreen	5 GAL	H	T
S-13	Juniperus horizontalis 'Plumosa'	Andorra Juniper	SW	Low	6'0"	Evergreen	5 GAL	H	T
S-14	Lampranthus spectabilis	Pink-trailing Ice Plant	SW	Low	1'6"	Pink/Evergreen	1 GAL	H	H
S-15	Lantana camara	NCN	SW	Low	6'0"	Yellow/Orange/Evegreen	5 GAL	H	T
S-16	Lantana montevidensis	Spreading Lantana	SW	Low	2'0"	Purple/Evergreen	1 GAL	H	T
S-17	Cistus x p. 'Sunset'	Rock Rose	SW	Low	6'0"	Purple/Evergreen	5 GAL	H	H
S-18	Myrica californica	Pacific Wax Myrtle	SW/NE	Low	10'0"	White/Evergreen	5 GAL	H	T
S-19	Myrtus communis 'Compacta'	Dwarf Myrtle	SW/NE	Low	2'6"	White/Evergreen	5 GAL	T	T
S-20	Nerium oleander 'Petite Pink'	Dwarf Oleander	SW	Low	4'0"	Pink/Evergreen	5 GAL	H	H
S-21	Pittosporum t. 'Variegata'	Variegated Tobira	SW/NE	Low	6'0"	Evergreen	5 GAL	H	H
S-22	Rhamnus californicus 'Seaview'	Spreading Coffeeberry	SW/NE	Low	8'0"	White/Evergreen	5 GAL	H	H
S-23	Rhaphioloepis indica 'Ballerina'	Spreading Pink Indian Hawthorn	SW/NE	Low	4'0"	Pink/Evergreen	5 GAL	H	H
S-24	Rhaphioloepis indica 'Clara'	White Indian Hawthorn	SW/NE	Low	5'0"	White/Evergreen	5 GAL	H	H
S-25	Trachelospermum jasminoides	Star Jasmine	SW, SW-NE	Medium	3'0"	White/Green Red	1 GAL	T	T
S-26	Yucca aloifolia	Spanish Bayonet	SW	Low	5'0"	White/Green	5 GAL	H	H
GRASSES & GROUND COVERS FOR SWALE AND BIORETENTION BASINS									
S-27	Myoporum p. 'Putah Creek'	Spreading Myoporum	SW	Medium	6'0"	White/Evergreen	1 GAL	H	H
S-28	Deschampsia c. holciformis	Tufted Hair Grass	SW/NE	Medium	3'0"	Evergreen	1 GAL	T	T
S-29	Elymus magellanicus	Magellan Wheatgrass	NE	Medium	2'0"	Evergreen	1 GAL	T	T
S-30	Muhlenbergia rigens	Deergrass	SW/NE	Medium	4'0"	Evergreen	1 GAL	H	H
GROUND COVERS									
L-1	Festuca arundinacea	Tall Fescue		Medium			SOD	T	T
GC-1	Arctostaphylos uva-ursi 'Point Reyes'	Bearberry	SW	Low	6'0"	White/Evergreen	1 GAL	Undocumented	Undocumented
VINES									
V-1	Clematis armandi	Evergreen Clematis	NE	Medium	5'0"	White/Evergreen	1 GAL	Undocumented	Undocumented
V-2	Jasminum polyanthum	True Jasmine Vine	NE	Medium	5'0"	White/Evergreen	1 GAL	Undocumented	Undocumented
V-3	Mandevilla laxa	Chilean Jasmine	SW	Medium	5'0"	White/Evergreen	1 GAL	Undocumented	Undocumented
V-4	Vigna caraccalla	Snail Vine	SW	Medium	5'0"	Pink/Evergreen	1 GAL	Undocumented	Undocumented

KEY: SW = full sun, SW-NE = partial sun, light shade, SW/NE = sun or shade
 KEY TO RECLAIMED WATER (HIGH IN SALTS): H = Highly Tolerant, T = Tolerant
 Sources for reclaimed water tolerance: "Landscape Plant Salt Tolerance Selection Guide for Recycled Water Irrigation", Wu Dodge, 2005. California Dept. of Water Resources. "Recycled Water Use in the Landscape"
 Source for plant water use is the WUCOLS database, current version



LANDSCAPE ARCHITECTS
 1700 North Broadway Suite 190
 Walnut Creek, CA 94596
 Telephone: 925 939 8292
 Fax: 925 939 8292
 Email: info@midfuturesign.com
 Group Stamp

CHRYSLER/DODGE/JEEP DEALERSHIP

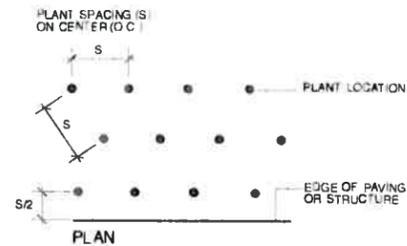
REVISIONS

01/18/14	
01/23/14	SITE REVISION

Lot 1
 Showroom
 Plaza

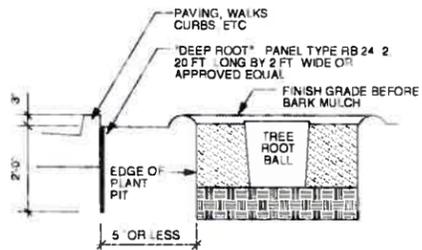
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L3.0

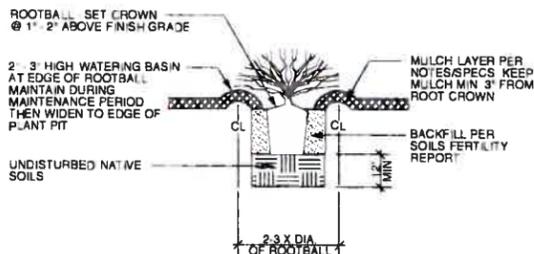


QUANTITY ESTIMATION CHART	
SPACING	NO. OF PLANTS/SQUARE FOOT
6" O.C.	4.60
8" O.C.	2.60
10" O.C.	1.66
12" O.C.	1.15
15" O.C.	0.738
18" O.C.	0.512
24" O.C.	0.29
30" O.C.	0.185
36" O.C.	0.128
48" O.C.	0.073
60" O.C.	0.046

PLANT SPACING - TRIANGULAR PATTERN
NTS



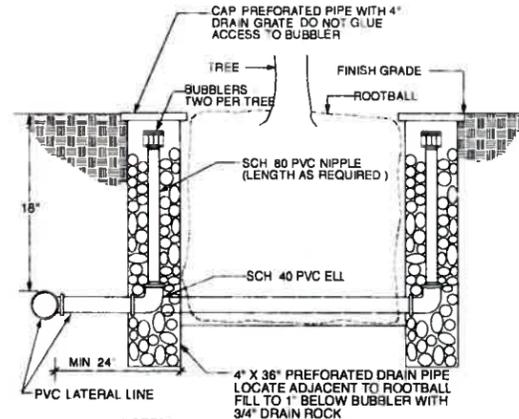
ROOT BARRIER DETAIL
NTS



NOTES

- FOR GROUND COVER AREAS, ROOTBALL AMENDMENTS AS RECOMMENDED BY SOILS REPORT TO 8" DEPTH AFTER CROSS RIPPING SUBGRADE TO 12" DEPTH
- SIDES AND BOTTOM OF PLANT PIT SHALL BE SCARIFIED BEFORE PLANTING
- ADD AGRIFORM PLANT TABLETS OR APPROVED EQUAL AT MANUFACTURER'S RATES 1/3 DOWN FROM TOP OF BACKFILL

SHRUB PLANTING DETAIL
NTS



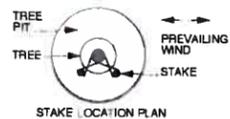
NOTES

- ONE BUBBLER PER TREE TO BE PLACED UPHILL SIDE OF ROOTBALL

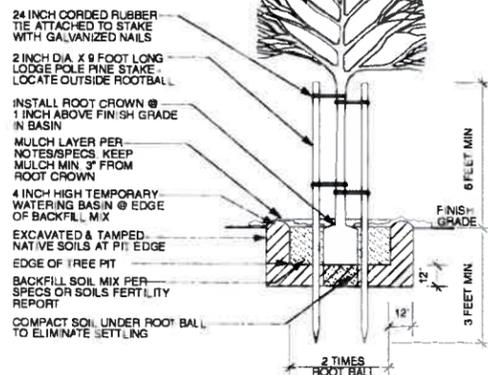
TREE BUBBLER DETAIL
NTS

NOTES

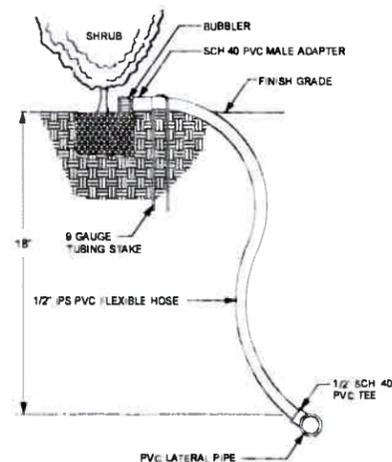
- PLACE STAKES PLUMB & AS SHOWN IN STAKE LOCATION PLAN
- TREES SHALL NOT BE ROOT-BOUND CAREFULLY SCARIFY ROOTBALL BEFORE PLANTING
- ELIMINATE WATER BASIN WHEN TREES ARE PLANTED IN LAWN
- USE WOOD STAKES FOR 15 GALLON TREES ONLY SEE GUYING DETAIL FOR LARGER TREES
- TREE PIT SHALL BE 3 TO 5 TIMES DIAMETER OF ROOT BALL IN CLAY SOILS OR HARDPAN CONDITIONS
- TREE PIT PERCOLATION TESTS SHALL BE PERFORMED IN CLAY SOILS OR HARDPAN CONDITIONS SEE PLANTING NOTE #9 COVER SHEET FOR TEST PARAMETERS
- SEE ADDITIONAL NOTES AND SPECIFICATIONS WHICH MAY APPLY TO THIS DETAIL



STAKE LOCATION PLAN



TREE INSTALLATION DETAIL
NTS



SHRUB BUBBLER DETAIL
NTS

LANDSCAPE ARCHITECTS

100 North Broadway, Suite 110
Walnut Creek, CA 94596
Telephone: 925-939-8292
Fax: 925-939-6292
Email: info@ndfurningham.com
Lilrose Stamp



CHRYSLER/DODGE/JEEP DEALERSHIP

REVISIONS

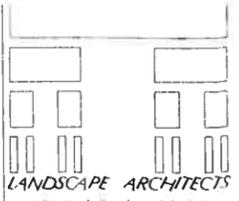
NO.	DATE	DESCRIPTION
01	05 14 14	SITE REVISION
02	05 14 14	
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13		
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19		
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Preliminary
Landscape
Details

05 14 14

MDF-1401

L4.0



1700 North Broadway, Suite 300
Walnut Creek, CA 94596
Telephone: 925-939-8292
Fax: 925-939-8292
Email: info@mdfotheringham.com



CHRYSLER/DODGE/JEEP DEALERSHIP

REVISIONS

01/18/14
01/23/14
SITE REVISION

Irrigation Water Use Notes

05/14/14

MDF-1401

L5.0

Water Efficient Landscape Notes:

1. Topsoil shall be amended in accordance with the agricultural suitability analyses prepared for this Project. Soil samples and testing shall occur after pad grades are established and drain lines are installed. Contractor or Owner to prepare a soil management report that documents soil amendment protocols prepared for each lot.
2. Turf shall not be installed on slopes greater than 25% where the toe of the slope is adjacent to a non-permeable hardscape. The area for turf shall not exceed 25% of the total landscape area.
3. The use of invasive plant species is strongly discouraged.
4. A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, hydroseeded areas and where creeping or rooting ground covers may be planted.
5. The irrigation systems shall be designed/installed to prevent runoff, low head drainage, overspray or other similar conditions where irrigation water flows onto non-targeted areas such as adjacent property, non-irrigated areas, impermeable paving and structures.
6. Use low-volume irrigation (bubblers) in mulched planting areas.
7. Swing joints or other riser-protection components are required on all risers subject to damage.
8. Check valves or anti-drain valves are required for all zones.
9. Maintain a minimum of eight feet (8') in any direction for turf areas. Spray nozzles may be used in this condition.
10. Overhead spray irrigation shall not be installed within 24 inches of a non-permeable paved surface unless the paved surface drains into a planting area. Allowable irrigation within the 24-inch setback from non-permeable surfaces may include bubblers or other low flow, non-spray methods. The setback may be planted or unplanted. The surface of the setback may be mulch, gravel or other porous material.
11. Refer to the Water Budget reports (this sheet) for verification that this project complies with the Water Efficient Landscape Ordinance (AB 1881) as established by the State of California, or a locally adopted equivalent ordinance.
12. The irrigation design for this Project will specify a weather-based, automatic, self-adjusting controller that includes a Moisture and/or Rain Sensor Shutoff.
13. Owner is responsible for completing the Certificate of Completion.
14. Irrigation system will be designed for reclaimed water. Plant selections have been limited to species that are highly tolerant or tolerant to reclaimed water sources with a range of dissolved salts from 200 to 400 parts per million.

SECTION A HYDROZONE INFORMATION TABLE

PROJECT NAME: Chrysler - Lot 1 - PUD Submittal Date: 5/15/14

Hydrozone Identification	Hydrozone Water Demand	Irrigation Method	Area (SF)	% of Total Landscape Area
Bio retention Areas	0.5		0.995	28.42%
North Perimeter Ground Cover	0.3		7.015	18.13%
Lawn	0.7		1.760	4.55%
Shrub Areas - SW Exposure	0.5		8.135	21.03%
Shrub Areas - NE Exposure	0.5		1.190	3.08%
Shrub Areas - NW Exposure	0.3		8.135	21.03%
Ground Covers in Tree Diamonds	0.5		80	0.21%
Tree Diamonds	0.5		80	0.21%
Trees in Shrub Areas	0.5		816	2.11%
Trees in Bio retention Areas	0.5		480	1.24%
TOTALS			38,686	100.00%

Hydrozone	Irrigation Method	Irrigation Efficiency
MW = High Water Demand (7-9)	MS = Micro-spray	0.8
MW = Medium Water Demand (4-6)	S = Spray	0.71
LW = Low Water Demand (2-3)	R = Rotor	0.71
VW = Very Low Water Demand (1)	B = Bubbler	0.65
	D = Dip	0.9
	O = Other	

WATER EFFICIENCY LANDSCAPE ORDINANCE PROJECT SUMMARY

PROJECT NAME: Chrysler - Lot 1 - PUD Submittal Date: 5/15/14

CITY LOCATION: Pleasanton ETo LOCATION: Pleasanton

LANDSCAPE ARCHITECT: Michael Fotheringham CA #2481

Total Landscape Area (SF): 38,686 Total Calculated Hydrozone Area (SF): 38,686

Annual ETo (inches): 46.2 Total Special Landscape Areas: 0

INCLUDED IN THIS PROJECT SUBMITTAL PACKAGE (Check to indicate completion)

	gallons/year without rainfall	gallons/year with rainfall
<input checked="" type="checkbox"/> 1. Maximum Applied Water Allowance	775,685	775,685
<input checked="" type="checkbox"/> 2. Estimated Total Water Use	647,319	647,319
<input checked="" type="checkbox"/> 2(a) Expected Water from Effective Precipitation		0
<input checked="" type="checkbox"/> 3. Expected Water Savings	128,366	128,366

Note: If the design assumes that a part of the ETWU will be provided by precipitation, the Effective Precipitation Disclosure Statement shall be completed and submitted.

4. Hydrozone Report

5. Soil Fertility Analysis

6. Grading Design Plan

7. Planting Design Plan

8. Irrigation Design Plan

9. Irrigation Schedule

POST-INSTALLATION INSPECTION

A. Maintenance Schedule

B. Irrigation Audit

C. Plants installed as specified (substitutions accepted)

D. Irrigation system installed as designed (as-builts included)

E. Landscape irrigation audit performed

F. Submittal package and this certification package have been provided to owner, building or site manager and local water agency.

SECTION B WATER BUDGET CALCULATIONS

PROJECT NAME: Chrysler - Lot 1 - PUD Submittal Date: 5/15/14

CITY OF: Pleasanton ETo City: Pleasanton

SECTION B2 ESTIMATED TOTAL WATER USE (ETWU, gallons per year)
ETWU = ETo x 62 x ((PF x HA)/E) + SLA

Calculate the following for each Hydrozone (HZ):

YEARLY ETo (inches per year): 46.2

CONVERSION FACTOR (to gallons per square foot): 0.62

PF - PLANT FACTOR (plant water demand, defined for each hydrozone): 0.7

TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet): 38,686

SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0

IE - IRRIGATION EFFICIENCY FACTOR (minimum 71): 0.71

TOTAL ESTIMATED TOTAL WATER USE (gallons/year): 647,319

TOTAL ACRE FEET: 1.99

YEARLY CONVERSION	HZ	HYDROZONE DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	EFFICIENCY (IE)	AREA (HA) (Sq Ft)	ETWU (Gal/yr)	% LANDSCAPE AREA	SLA (Sq Ft)	
46.2	0.62	1	Bio-retention Areas	0.50	S	0.71	10,995	221,789	26.4%	0
46.2	0.62	2	North Perimeter Ground Cover	0.30	S	0.71	7,015	64,903	18.1%	0
46.2	0.62	3	Lawn	0.70	S	0.71	1,760	48,703	4.5%	0
46.2	0.62	4	Shrub Areas - SW Exposure	0.50	S	0.71	8,135	114,098	21.0%	0
46.2	0.62	5	Shrub Areas - NE Exposure	0.50	S	0.65	1,190	20,051	3.1%	0
46.2	0.62	6	Shrub Areas - NW Exposure	0.30	S	0.65	8,135	62,242	21.0%	0
46.2	0.62	7	Ground Covers in Tree Diamonds	0.50	S	0.65	80	1,348	0.2%	0
46.2	0.62	8	Tree Diamonds	0.50	S	0.65	80	1,348	0.2%	0
46.2	0.62	9	Trees in Shrub Areas	0.50	S	0.65	816	13,749	2.1%	0
46.2	0.62	10	Trees in Bio-retention Areas	0.50	S	0.65	480	6,098	1.2%	0
			TOTALS				38,686	647,319	100.00%	0

SECTION B WATER BUDGET CALCULATIONS

PROJECT NAME: Chrysler - Lot 1 - PUD Submittal Date: 5/15/14

CITY OF: Pleasanton ETo Location: Pleasanton

SECTION B1 MAXIMUM APPLIED WATER ALLOWANCE
MAWA = ETo x 62 x (7 x HA) + (3 x SLA)

YEARLY ETo: 46.2

CONVERSION FACTOR: 0.62

ET ADJUSTMENT FACTOR: 0.7

TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet): 38,686

SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0

MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 775,685

TOTAL ACRE FEET: 2.38

CALCULATIONS: 46.2 x 0.62 x 0.7 x 38,686 + 0.3 x 0 = 775,685

Effective Precipitation (Eppit)
Use 25% of annual precipitation in the following equation
MAWA = (ETo - Eppit) x 62 x (7 x HA) + (3 x SLA)

YEARLY ETo: 46.2

EFFECTIVE PRECIPITATION: 0

NET ETo: 46.2

CONVERSION FACTOR: 0.62

ET ADJUSTMENT FACTOR: 0.7

TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet): 38,686

SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0

MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 775,685

TOTAL ACRE FEET: 2.38

CALCULATIONS: 46.2 x 0.62 x 0.7 x 38,686 + 0.3 x 0 = 775,685

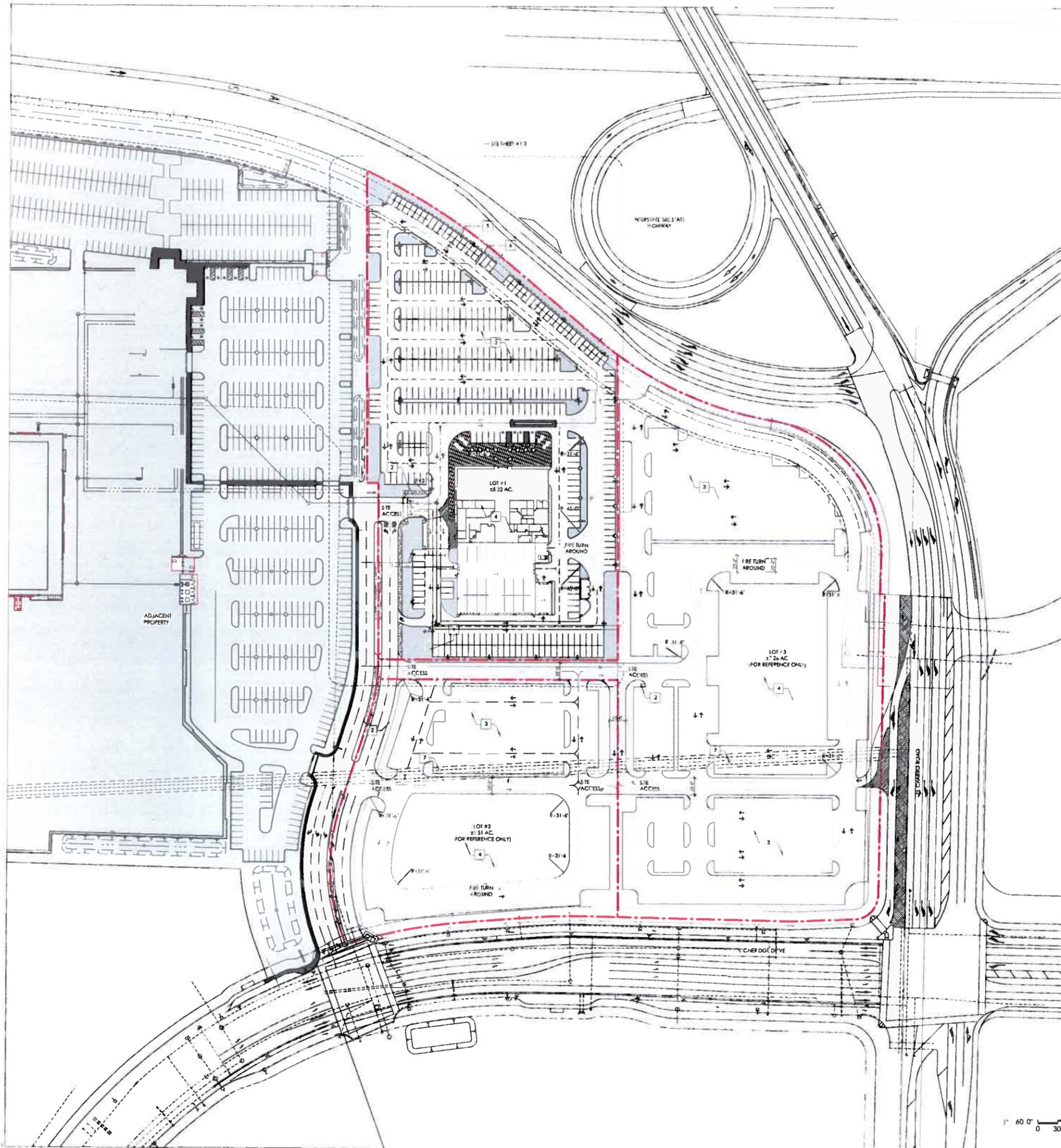
RESULTS: Irrigation reductions by adding precipitation (gallons/year): 0

Table 4.2 Comparison of Water Quality Recycled Water Feasibility Study City of Pleasanton

Parameter	Units	Established Criteria Degree of Use Restriction ^(1,2)			DERWA-WRP Effluent ⁽³⁾	LWRP Effluent ⁽⁴⁾
		None	Slight	Severe		
Salinity	ds/m	<0.7	0.7-3.0	>3.0	1.3	1.3
Electrical Conductance	ds/m	<0.7	0.7-3.0	>3.0	1.3	1.3
Total Dissolved Solids (TDS)	mg/L	<450	450-2000	>2000	858	577
Permeability		>0.7	0.7-0.2	<0.2	-	-
aSAR = 0 - 3 and EC		>1.2	1.2-0.3	<0.3	aSAR=4.3	aSAR = 4.8
= 3 - 6 and EC		>1.9	1.9-0.5	<0.5	EC = 1.3	EC = 1.3
= 6 - 12 and EC		>2.9	2.9-1.9	<1.9	-	-
= 12 - 20 and EC		>5.0	5.0-2.9	<2.9	-	-
= 20 - 40 and EC		-	-	-	-	-
Sodium						
Root Absorption	SAR	<3	3-9	>9	3.8	6.0
Foliar Absorption	mg/L	<70	>70	-	139	130
Chloride						
Root Absorption	mg/L	<140	140-355	>355	158	188
Foliar Absorption	mg/L	<100	>100	-	158	188
Boron	mg/L	<0.7	0.7-3.0	>3.0	0.5	1
pH		6.5-8.4 (normal range)			7.4	7.7
Ammonia (NH ₃)	mg/L	(see combined N values below)			31.8	34
Nitrate (as NO ₃)	mg/L	(see combined N values below)			N/A	N/A
Nitrate (as N)	mg/L	(see combined N values below)			1.2	0.4
Combined Nitrogen (N) ⁽⁵⁾	mg/L	<5	5-30	>30	27	37
Bicarbonate (HCO ₃) ⁽⁶⁾	meq/L	<90	90-500	>500	293	270

Notes:
(1) Adapted from University of California Committee of Consultants (1974) and Water Quality for Agriculture (Ayers and Westcott 1984).
(2) Definition of the "Degree of Use Restriction" terms:
None = Reclaimed water can be used similar to the best available irrigation water
Slight = Some additional management will be required above that with the best available irrigation water in terms of leaching salts from the root zone and/or choice of plants.
Severe = Typically cannot be used due to limitations imposed by the specific parameters.
(3) The LWRP effluent data is the average effluent quality from 2008 through 2008.
(4) Total Kjeldahl Nitrogen.
(5) Presence of bicarbonate can result in unsightly foliar deposits.
(6) San Ramon Valley Recycled Water Program Report, 2010 Recycled Water Quality Annual Report.

RECENT RECLAIMED WATER ANALYSIS (Likely source of water for irrigation)



LEGEND

- PROPERTY LINE
- LANDSCAPE BIOSWALE
- FIRE TURN AROUND

SHEET NOTES

- 1 FUTURE STREET
- 2 SIDE WALK
- 3 PARKING STALL
- 4 PROPOSED BUILDING LOCATION
- 5 30' PG&E PIPELINE EASEMENT
- 6 25' AC/LAWD PIPE LINE EASEMENT
- 7 20' P&T UNDERGROUND W/RES AND CABLES EASEMENT
- 8 8' DRIVE Aisle LANE

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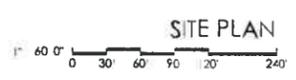
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CHRYSLER DODGE JEEP
STAPLES RANCH AUTOMALL
PLEASANTON, CALIFORNIA**

REVISIONS

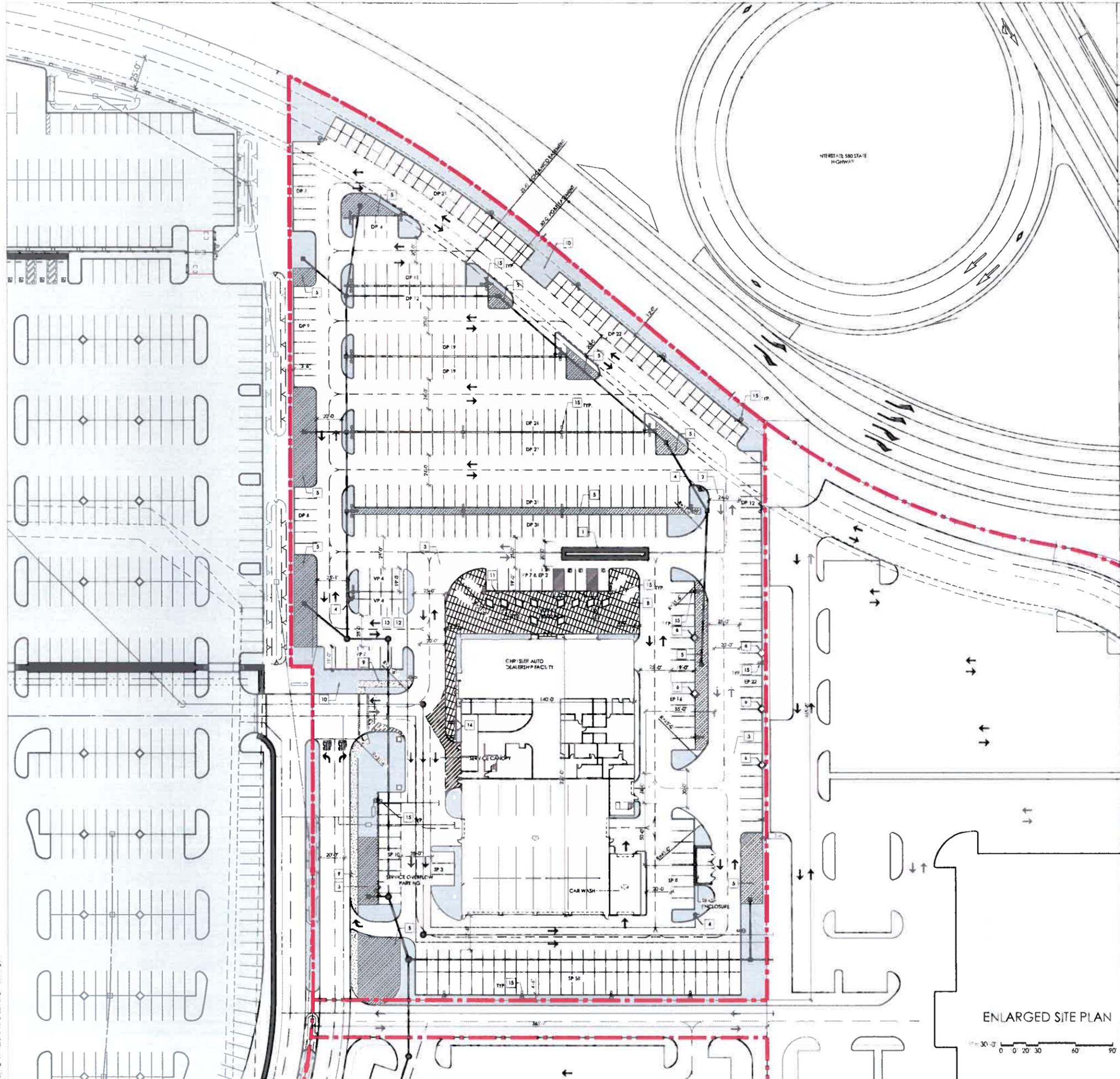
PRELIMINARY PLANNING REVIEW	02/20/14
PUD SUBMITTAL	05/21/14

STEP PLAN

Date:	02/20/14
Drawn:	
Checked:	
Scale:	1/32" = 1'-0"



1237 LAMOR HALL SHOPPING CENTER, PLEASANTON, CA



LEGEND

- PROPERTY LINE
- LANDSCAPE (BOS/WALE)
- RETURN AROUND

PARKING ANALYSIS

PARKING TYPE	STANDARD STALLS	ACCESSIBLE STALLS	TOTAL
VEHICLE PARKING (VP)	20	-	22
EMPLOYEE PARKING (EP)	38	2	40
SPVCE PARKING (SP)	77	NOT REQUIRED	77
DISPLAY PARKING (DP)	259	NOT REQUIRED	259
TOTAL	396	2	400

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 defining re:design
 15000 S. HAYWARD AVE. #100
 SAN JOSE, CA 95128
 TEL: 415.947.1100 FAX: 415.947.1101 WWW.HABITEC.COM

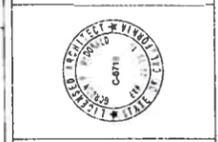
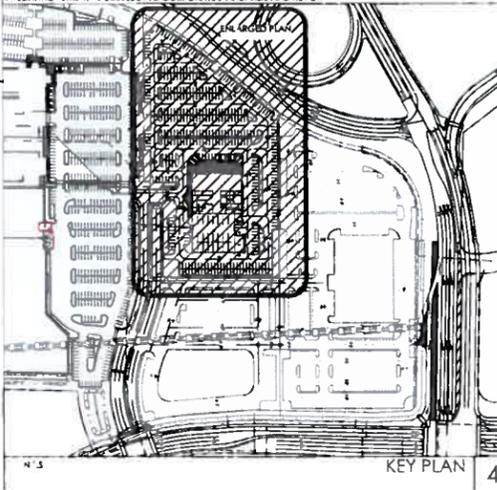
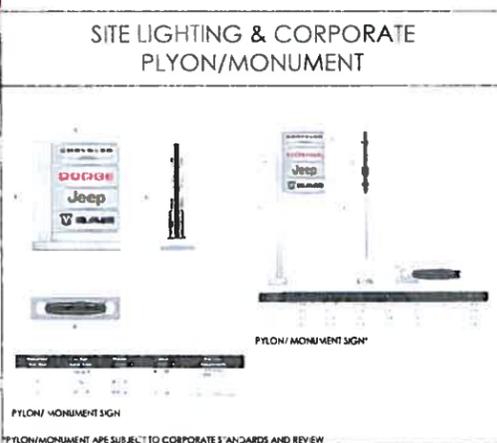
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LOT #1 BUILDING

SHOWROOM OFFICES	
PARTS & STORAGE	15,600 SF
FIRST FLOOR	7,912 SF
SECOND FLOOR	
VEHICLE SERVICE	13,200 SF
TOTAL BUILDING GROSS AREA	31,792 SF
CAR WASH	1,200 SF
SERVICE CANOPY	2,175 SF

- ### SHEET NOTES
1. CARPENTER TRUCK UNLOADING ZONE
 2. CARPENTER TRUCK HAMMERHEAD TURN AROUND
 3. FIRE TRUCK PATH OF TRAVEL
 4. FIRE HYDRANT
 5. SIDEWALK SEE CIVIL DRAWINGS
 6. DRAINAGE PLANNERS
 7. RAISED PLANTER BOX, SEE LANDSCAPE DRAWINGS
 8. PLAZA CONCRETE SEE LANDSCAPE DRAWINGS
 9. SIDEWALK
 10. Pylon/Monument Sign
 11. ELECTRIC VEHICLE CHARGING STATION
 12. PUBLIC ENTRANCE EMITTING CAR POOL DESIGNATED PARKING STALL
 13. CAR SHARE DESIGNATED PARKING STALL
 14. BICYCLE RACKS
 15. SITE POLE LIGHTING SEE PHOTO ARCHITECTURAL DRAWING FOR ADDITIONAL INFORMATION



**PLEASANTON DEALERSHIP
 CHRYSLER DODGE JEEP
 STAPLES RANCH AUTOMALL
 PLEASANTON, CALIFORNIA**

REVISIONS

PRELIMINARY PLANNING REVIEW	02.20.14
PUD SUBMITTAL	05.21.14

ENLARGED SITE PLAN

Date	02.20.14
Drawn	
Checked	
Scale	1/8" = 1'-0"
Sheet	328

A1.2

SHEET NOTES

SHEET NOTES FLOOR PLAN	
KEY NUMBER	KEYNOTE TEXT
PP01	RECESSED STOREFRONT SYSTEM
PP02	ROLL-UP DOORS TO BE MOUNTED ON THE EXTERIOR TO CREATE RECESSES
PP03	PROVIDE GALVANNE
PP04	CONCRETE CURB
PP05	STANDARD 2" x 8"
PP06	3" GALV. CANT



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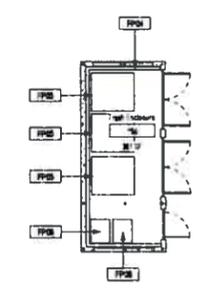
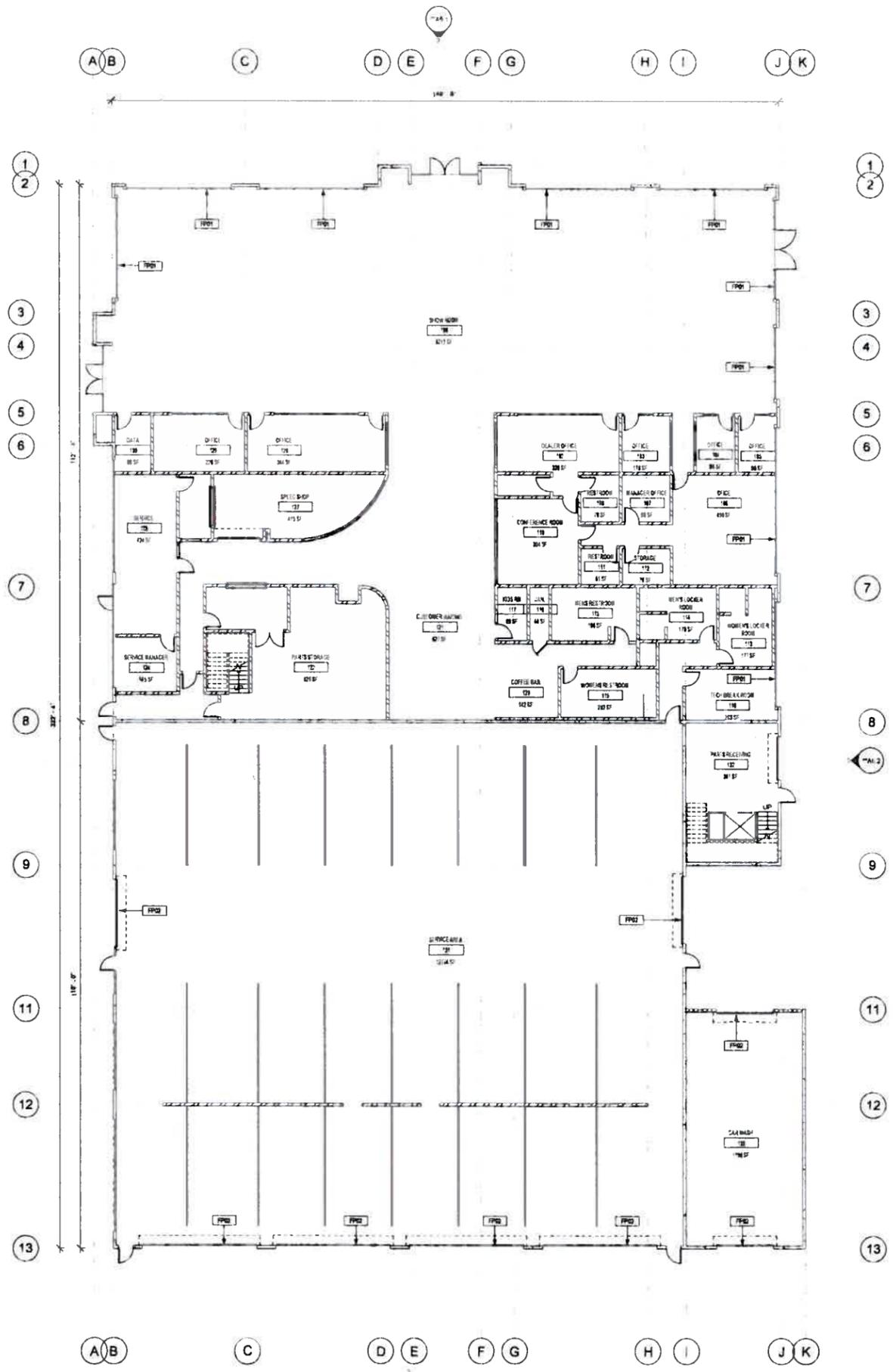
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CHRYSLER DODGE JEEP**
AUTOMOBILE SALES AND SERVICES
STAPLES RANCH AUTO MALL
PLEASANTON, CALIFORNIA

REVISIONS
PRELIMINARY PLANNING REVIEW 02.18.14
PLD SUBMITTAL 05.21.14

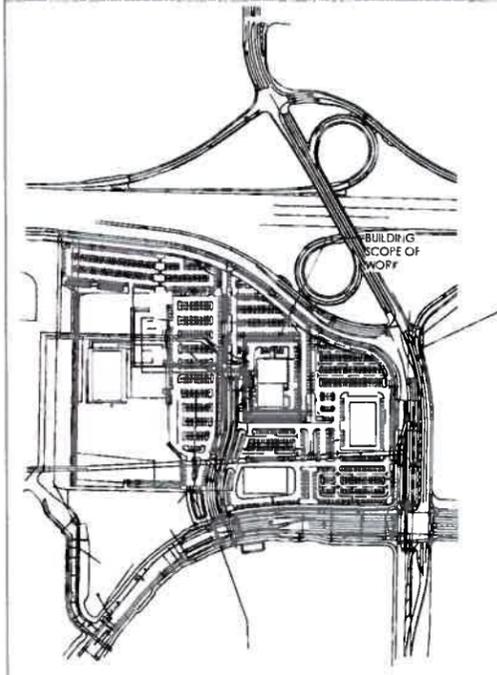
SCHEMATIC 15'
FLOOR PLAN

02.18.14
3/32 = 1/8"
NA
13/8/1

****A2.1**



SCHEMATIC FLOOR PLAN
SEA-1001-11



KEY PLAN 4

P:\13\1328-1_Pleasanton
Chrysler Dodge
Jeep - A Drawing Release
10/14/14 P:\13\1328-1_Pleasanton - 2.rvt

SHEET NOTES

SHEET NOTES FLOOR PLAN	
KEY NUMBER	KEY NOTE TEXT
PP01	RECEIPTS STORAGE SYSTEM
PP02	ROLL-UP DOORS TO BE MOUNTED ON THE INTERIOR TO CREATE RECESS
PP03	PROVIDE CHAIRSEAT
PP04	CONCRETE CURB
PP05	8 YARD BIN (7' x 8')
PP06	36 GAL. CART



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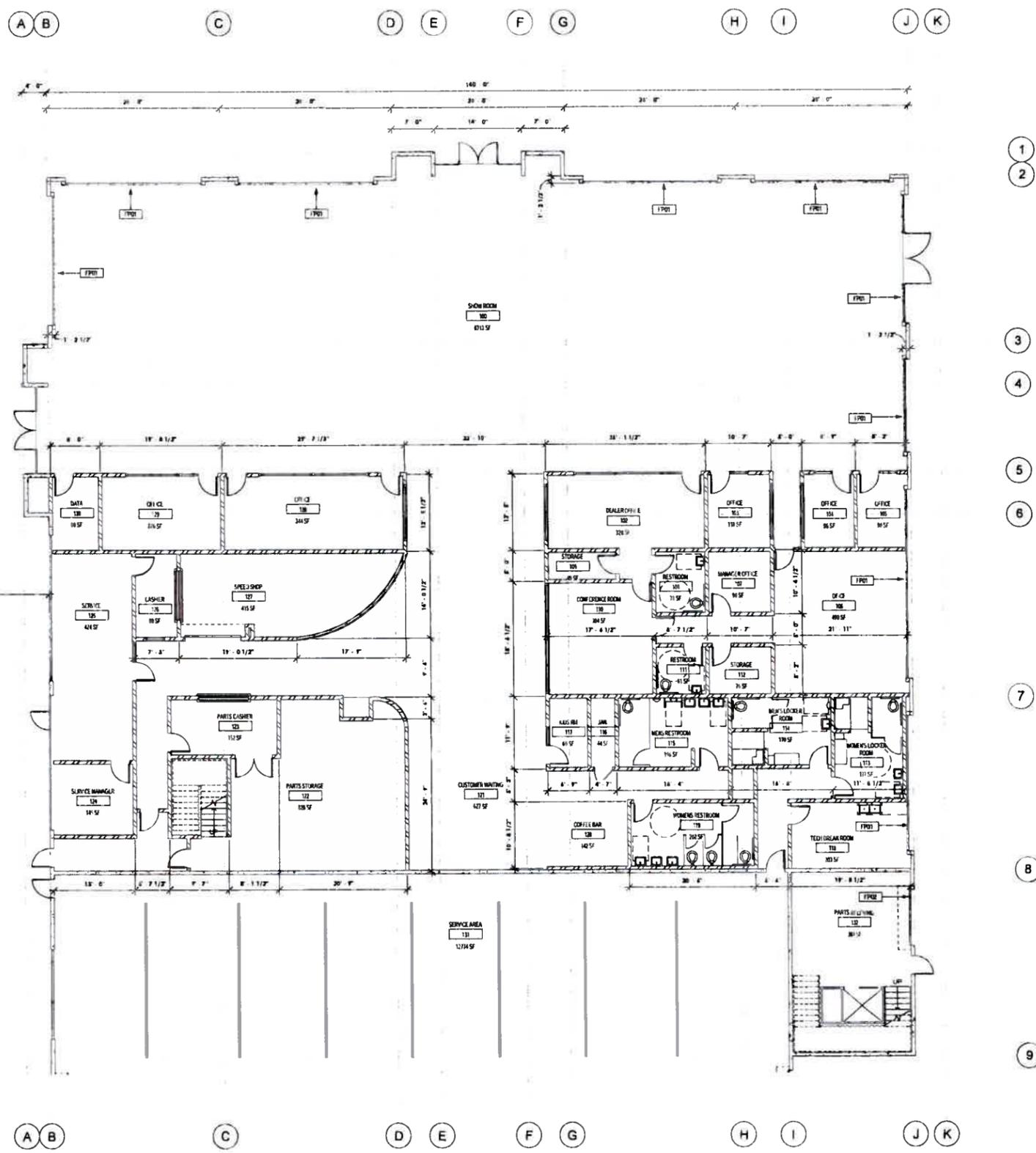
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CHRYSLER DODGE JEEP**
AUTOMOBILE SALES AND SERVICES
STAPLES RANCH AUTO MALL
PLEASANTON, CALIFORNIA

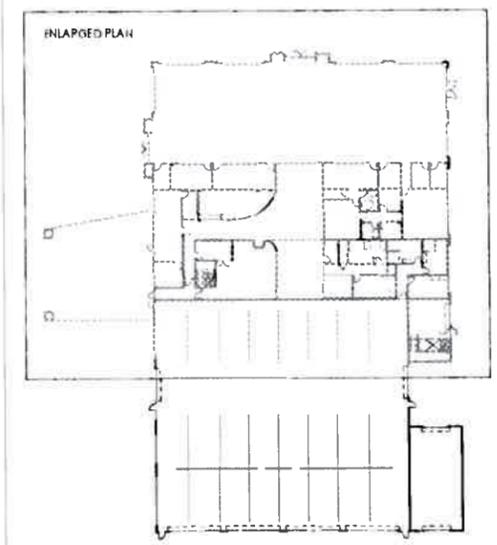
REVISIONS
PRELIMINARY PLANNING REVIEW 02.18.14
PUD SUBMITTAL 03.21.14

ENLARGED SCHEMATIC 1ST FLOOR PLAN	NOT FOR CONSTRUCTION
02.18.14	
As Indicated	
JIG	
1328-1	

****A2.2**



SCHMATIC 1st FLOOR PLAN



ENLARGED SCHEMATIC 1ST FLOOR PLAN

PLANNING
2700 S. Decade
Pleasanton, CA 94566
Tel: 925.461.1234

02/18/14 11:59 AM

SHEET NOTES

SHEET NOTES FLOOR PLAN	
KEY NUMBER	KEYNOTE TEXT
FP01	RECESS D STORAGE SYSTEM
FP02	ROLL UP DOORS TO BE MOUNTED ON THE INTERIOR TO CREATE RECESS
FP03	PROVIDE GAUGERAIL
FP04	CONCRETE CURB
FP05	LYARD BIN (27' x 81')
FP06	BIG GAL CART



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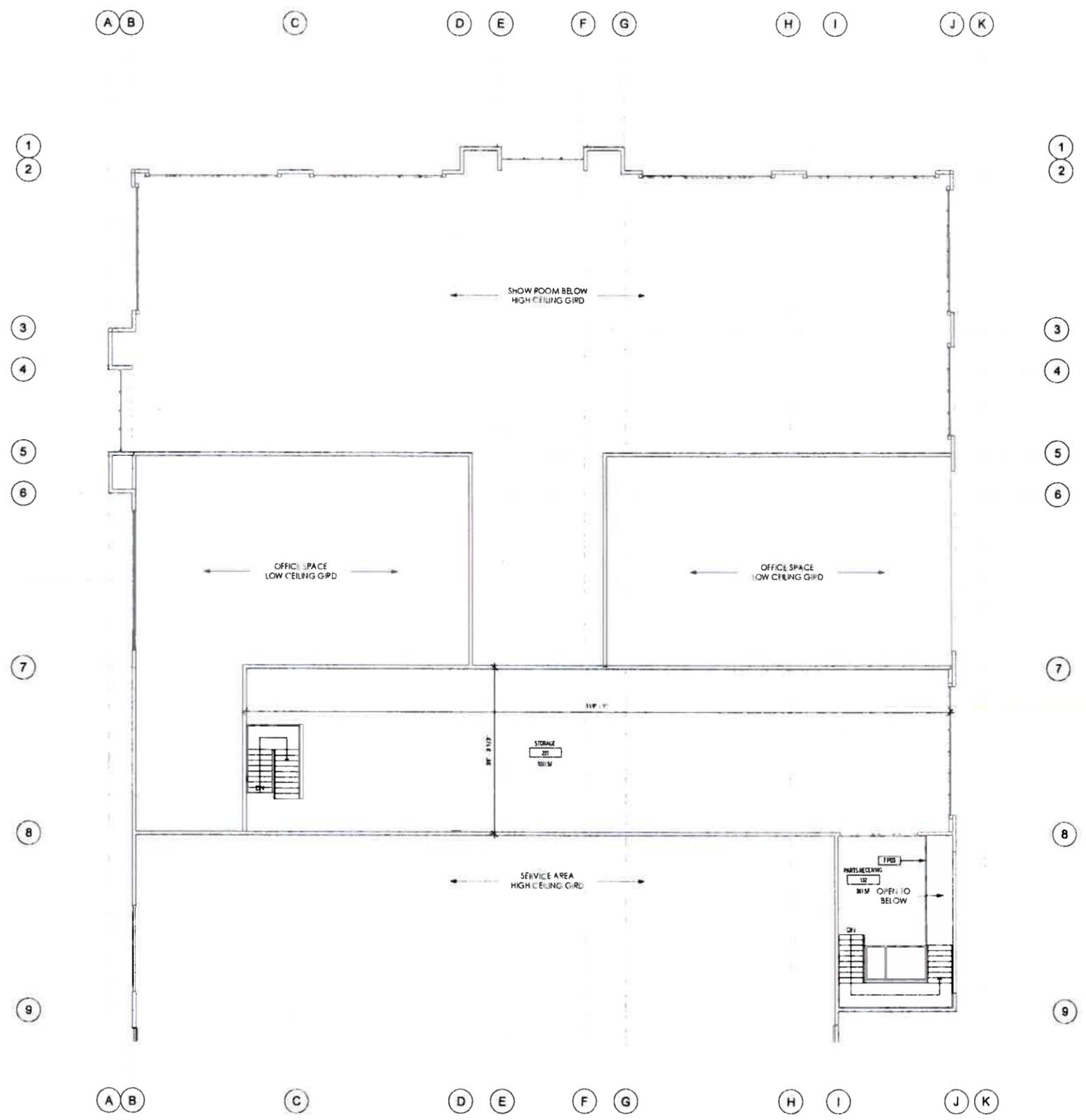
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PLD SUBMITTAL 05.21.14

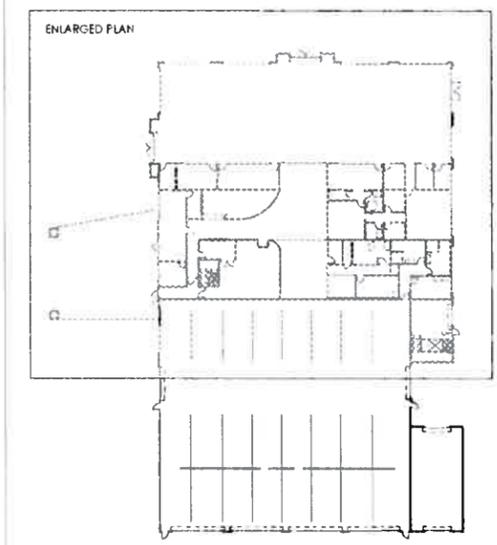
ENLARGED SCHEMATIC 2ND FLOOR PLAN

02.18.14
A indicated
author
13.28-1

****A2.3**

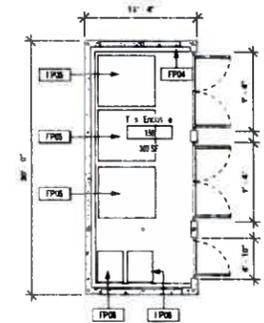
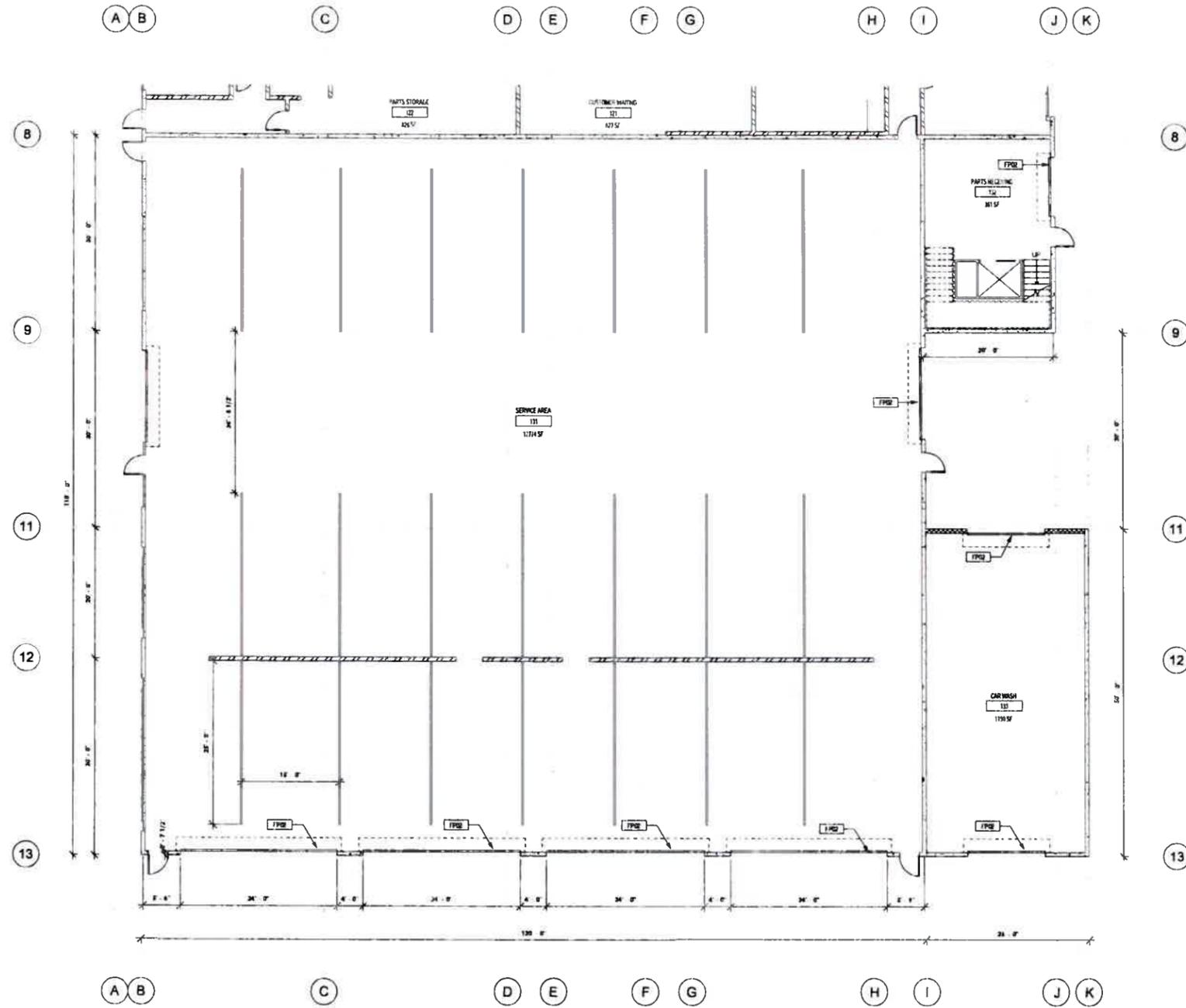


SCHMATIC 2nd FLOOR PLAN



KEY PLAN

P:\31328 - Pleasanton
 Chrysler Dodge
 Jeep Ram Drawing\2-Base
 Plans\A_00ans\328_2_B_1king 2.rvt



SCHMATIC 1ST FLOOR PLAN

SHEET NOTES

SHEET NOTE: FLOOR PLAN	
KEY NUMBER	KEYNOTE TEXT
1P01	REMOVE STORE FRONT SYSTEM
1P02	ROLL-UP DOORS TO BE MOUNTED ON THE INTERIOR TO CREATE RECEIPTS
1P03	PROVIDE GUARDRAIL
1P04	CONCRETE CURB
1P05	6 YARD BIN (7' x 8')
1P06	REGAL CART

habitec
 architecture interior design

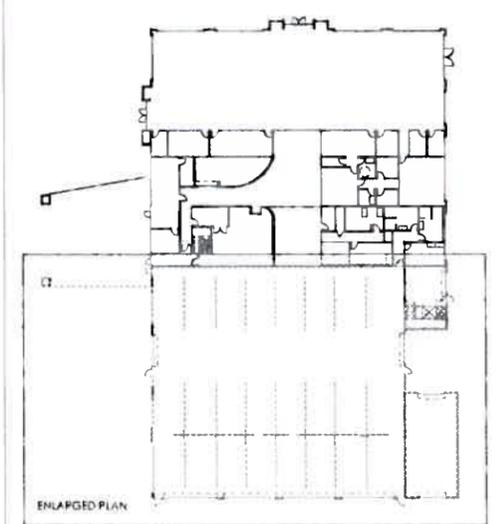
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**PLEASANTON DEALERSHIP
 CHRYSLER DODGE JEEP**
 AUTOMOBILE SALES AND SERVICES
 STAPLES RANCH AUTO MALL
 PLEASANTON, CALIFORNIA

REVISIONS

PRELIMINARY PLANNING REVIEW	02.18.14
PLD SUBMITTAL	08.21.14



ENLARGED SCHEMATIC 1ST FLOOR PLAN

02.18.14
 AJG indicated
 JTG
 13251

****A2.4**

SHEET NOTES

ROOF LEGEND	
Key Value	Keynote Text
R01	SKYLIGHTS
R02	PACKAGE RTU
R03	ROOF DRAIN AND OVERFLOW
RD4	CORRUGATED METAL ROOF SCREEN
RD5	ROOF HATCH
R06	TREMCO, TREM-TRED ASPHALTIC PADS
R07	WHITE TPO ROOFING MEMBRANE
R08	STANDING SEAM METAL ROOF ATAS PC PANEL CHARCOAL GREY
R09	EXTERIOR WALL PACK LITHON A WFL METAL HALIDE NATURAL ALUMINUM FINISH
R010	RECESSED CANOPY LIGHT LITHON A, KPS, METAL HALIDE CHARCOAL GRAY



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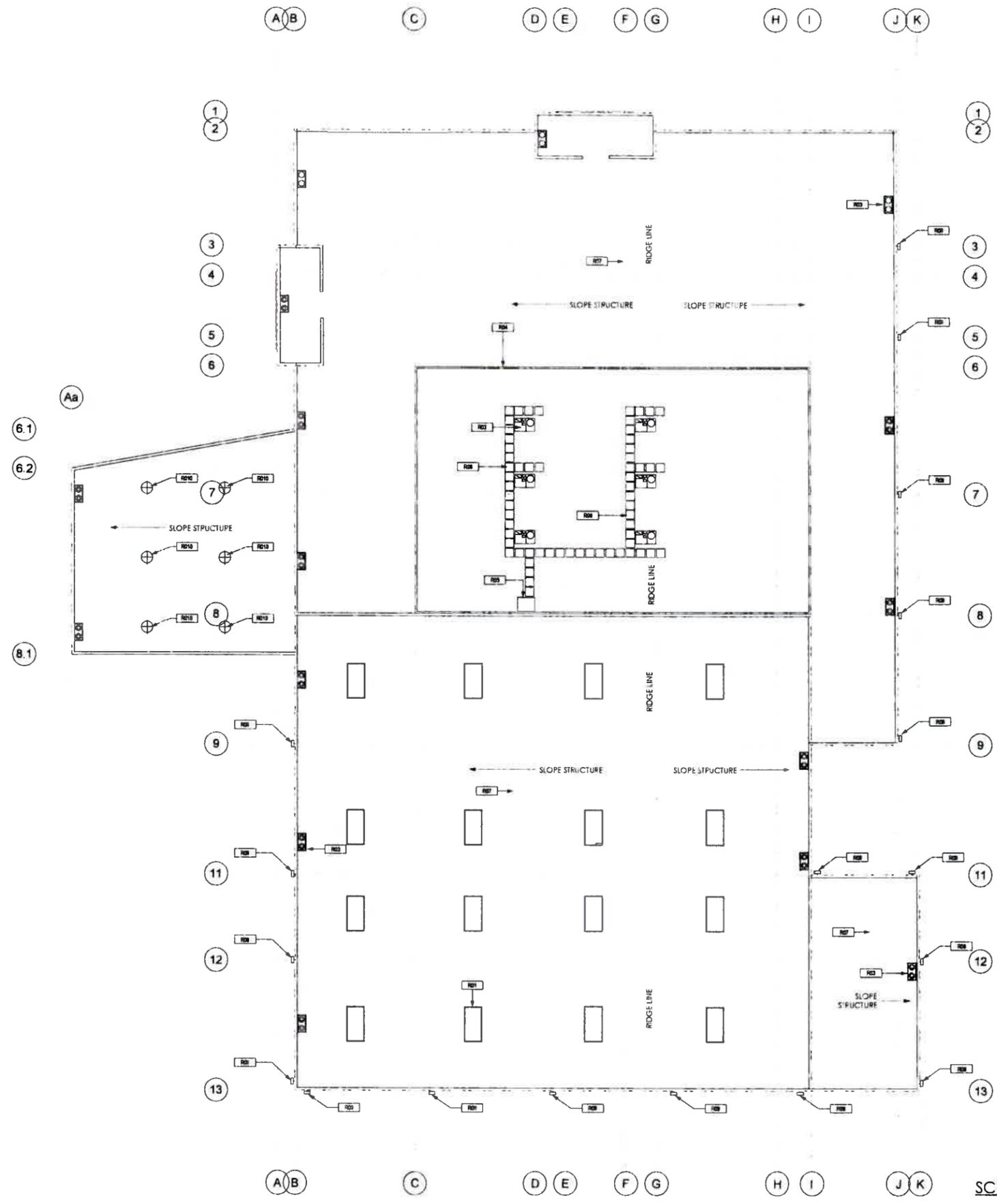
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PLEASANTON, CALIFORNIA

REVISIONS
PRELIMINARY PLANNING REVIEW 02.18.14
PLD SUBMITTAL 02.21.14

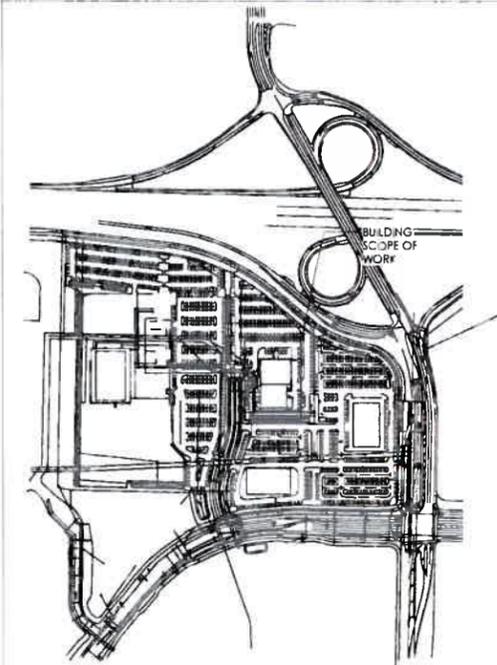
ROOF PLAN

02.18.14
J/32 - 1-0
Author
1328.1

****A4.1**



SCHEMATIC ROOF PLAN



KEY PLAN

PLAN 1328 - Pleasanton
Chrysler Dodge
Jeep V.A. Drawing V2 Base
File Name: Plan 1328 - Building.rvt



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SHEET NOTES

SHEET NOTES ELEVATIONS

KEY NUMBER	KEYNOTE TEXT
E01	ALPOLIC ACM (ALUMINUM COMPOSITE MATERIAL) SILVER METALLIC
E02	ALPOLIC ACM (ALUMINUM COMPOSITE MATERIAL) BRIGHT SPICULAR
E03	ARCADIA (ALUMINUM STONE/TROMPE) CLEAR ANOD. 10'
E04	PERFECT GRY (GARY) 1/2" SQUARE GRAY
E05	TEK COATE AL 30 ELASTOMERIC COATING BENJAMIN MOORE ROCK GRAY
E06	TEK COATE AL 30 ELASTOMERIC COATING BENJAMIN MOORE PULCAN GRAY
E07	CORRUGATED METAL ROOF SCHEIN
E08	REVEAL LINE
E09	ROLL UP DOOR
E10	HOLLOW METAL EXTERIOR DOOR
E11	EXTERIOR WALL PACK SEE SHEET A4 FOR ADDITIONAL INFORMATION
E12	EXTERIOR POLE LIGHT SEE SHEET A4 FOR ADDITIONAL INFORMATION
E13	RECESSED CANOPY LIGHT SEE SHEET A4 FOR ADDITIONAL INFORMATION
E14	WOOD-MESH WALL MOUNTED VEGEATED SCHEIN
E15	RECESSIO PANEL
E16	FABRICATED STEEL COLUMNS WITH CORRUGATED METAL PANELS
E17	TUBE STEEL COLUMNS
E18	TUBE STEEL FRAMED ROOF STRUCTURE STANDING SEAM METAL ROOF
E19	ILLUMINATED SIGNAGE
E20	TRASH ENCLOSURE
E21	TALL SHARPS TO PROVIDE SCREWMING
E22	RAISED PLANTER SEE LANDSCAPE DRAWINGS

EXTERIOR LIGHT FIXTURES



EXTERIOR BUILDING SIGNS



REVISIONS

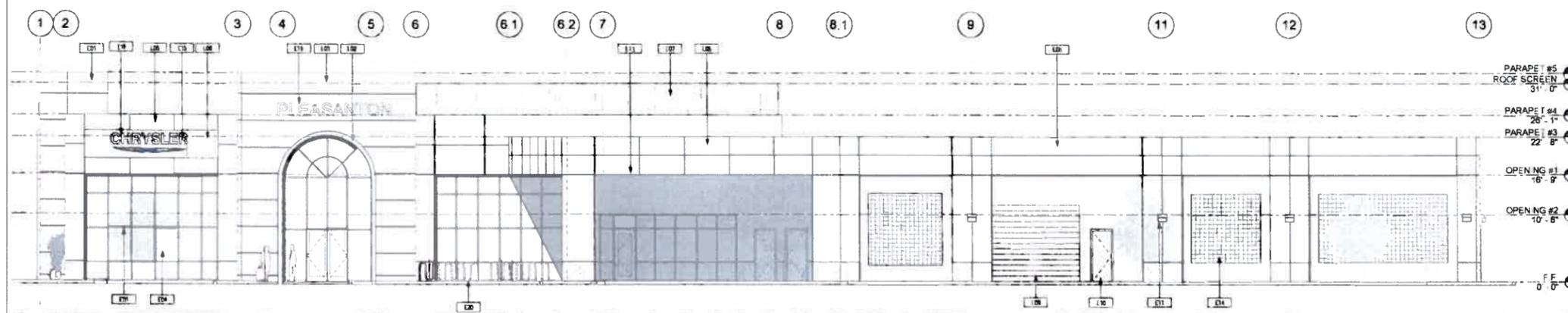
NO.	DESCRIPTION	DATE
1	PRELIMINARY PLANNING REVIEW	02.16.14
2	PLD SUBMITTAL	05.21.14

PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 AUTOMOBILE SALES AND SERVICES
 STAPLES RANCH AUTO MALL
 PLEASANTON, CALIFORNIA

EXTERIOR ELEVATIONS
 NOT FOR CONSTRUCTION

02.16.14
 1/8" = 1'-0"
 Author
 1328-1

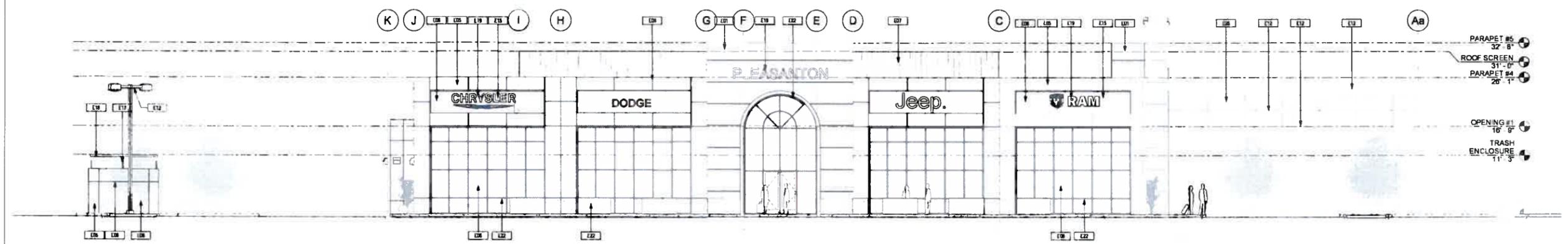
****A6.1**



WEST (LEFT) NOTATIONAL ELEVATION
 CARMAX/SHARED STREET VIEW



WEST (LEFT) RENDERED ELEVATION
 CARMAX/SHARED STREET VIEW



NORTH (FRONT) NOTATIONAL ELEVATION
 FREEWAY VIEW



NORTH (FRONT) RENDERED ELEVATION
 FREEWAY VIEW

PL13-1328-Pleasanton
 Chrysler Dodge
 Jeep Ram Drawing
 1328-Building 214

02/20/14 17:32:44

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SHEET NOTES

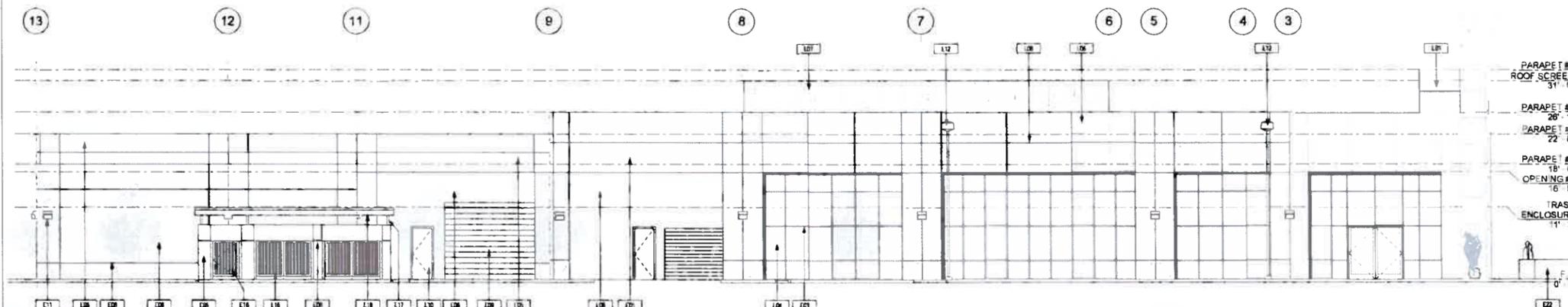
SHEET NOTES ELEVATIONS

KEY NUMBER	KEYNOTE TEXT
L01	ALPOLIC ACM ALUMINUM COMPOSITE MATERIAL SILVER METALLIC
L02	ALPOLIC ACM ALUMINUM COMPOSITE MATERIAL BRIGHT SPECULAR
L03	ARCADIA POLYMER STATION TILE/CLAY ANO D
L04	IPPS STONE FRONT GLA. NEW SOLAR GRAY
L05	ITX COITL 2L 70 L LASTOMER COA IMG BIL IN JAMIN MOOR: ROCK GRAY
L06	ITX COITL 2L 70 L LASTOMER COATING BENJAMIN MOORE PELICAN GRAY
L07	CORRUGATED METAL ROOF SCREEN
L08	REVEAL LINE
L09	ROLL UP DOOR
L10	HOLLOW METAL EXTERIOR DOOR
L11	EXTERIOR WALL PANEL SEE SHEET A4.1 FOR ADDITIONAL INFORMATION
L12	EXTERIOR POLE LIGHT SEE SHEET A1.2 FOR ADDITIONAL INFORMATION
L13	RECESSED CANOPY LIGHT SEE SHEET A4.1 FOR ADDITIONAL INFORMATION
L14	WOOD SH WALL MOUNTED VEGATED SCR: DN
L15	RECESSED PANEL
L16	FABRICATED STEEL GATES WITH CORRUGATED METAL PANELS
L17	TUBE STEEL COLUMNS
L18	TUBE STEEL FRAME ROOF STRUCTURE STANDING SEAM METAL ROOF
L19	ILLUMINATED STORAGE
L20	BIKE RACKS
L21	FALL SHARBS TO PROVIDE SCREENDING
L22	TRASH D PLANTER SEE LANDSCAPE DRAWINGS

EXTERIOR LIGHT FIXTURES



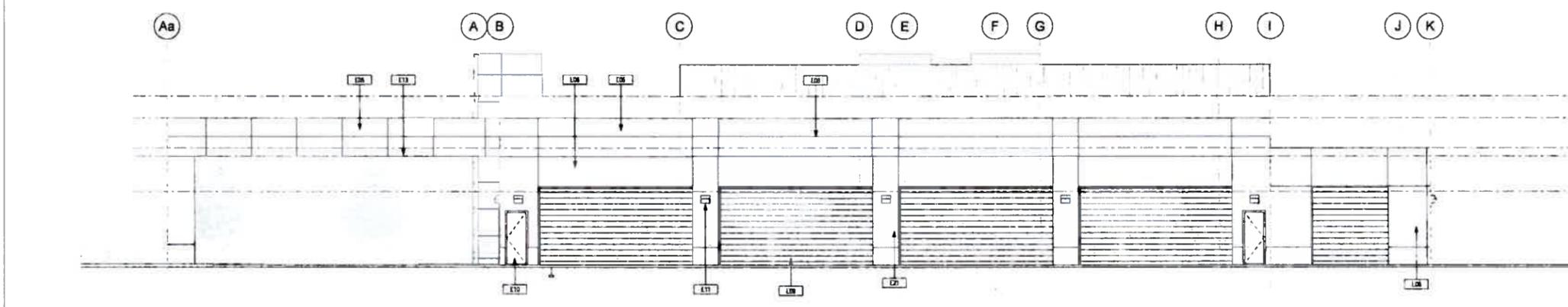
EXTERIOR BUILDING SIGNS



EAST (RIGHT) NOTATIONAL ELEVATION
EL CHARRO VIEW 5



EAST (RIGHT) RENDERED ELEVATION
EL CHARRO VIEW 6



SOUTH (REAR) NOTATIONAL ELEVATION
STONE RIDGE VIEW 3



SOUTH (REAR) RENDERED ELEVATION
STONE RIDGE VIEW 4

PLEASANTON DEALERSHIP
CHRYSLER DODGE JEEP
 AUTOMOBILE SALES AND SERVICES
 STAPLES RANCH AUTO MALL
 PLEASANTON, CALIFORNIA

REVISIONS
ME: MINORITY PLANNING REVIEW 02.18.14
PUD SUBMITTAL 06.21.14

EXTERIOR ELEVATIONS
02.18.14
/B = 1-0
Author
1326-1

****A6.2**

