

Governmental Agencies

Building Department

CITY OF PLEASANTON
BUILDING & SAFETY DIVISION
200 OLD BERNAL AVENUE
PLEASANTON, CA 94566
925.931.5300

Fire Department

LIVERMORE-PLEASANTON FIRE DEPARTMENT
ADMINISTRATION HEADQUARTERS
3560 NEVADA STREET
PLEASANTON, CA 94566
925.454.2361

Health Department

ALAMEDA COUNTY PUBLIC HEALTH DEPARTMENT
1000 BROADWAY SUITE 500
OAKLAND, CA 94607
510.267.8000

Building Data

BUILDING CODE:
CALIFORNIA BUILDING CODE 2010
PLUMBING CODE:
CALIFORNIA PLUMBING CODE 2010
MECHANICAL CODE:
CALIFORNIA MECHANICAL CODE 2010
ELECTRICAL CODE:
CALIFORNIA ELECTRICAL CODE 2010
ACCESSIBILITY CODE:
ADA
ENERGY CODE:
T-24
FIRE CODE:
CALIFORNIA FIRE CODE 2010
GREEN CODE:
BASIC GREEN CODE 2010
-NO TIER 1 OR TIER2

Project Data

SITE AREA: 36,776 S.F. 100%
LANDSCAPE AREA: 13,975 S.F. 38.0%
PAVING & MISC. AREA: 17,402 S.F. 47.3%
BUILDING FLOOR AREA: 5,399 S.F. 14.7%
DEDICATED PATIO AREA: 1,619 S.F.
INTERIOR SEATING: 139
PARKING PROVIDED: 16 SPACES
PROPOSED OCCUPANCY: A2
TYPE OF CONSTRUCTION: V-B
BUILDING NO. OF STORIES: 1
FIRE SPRINKLERS: YES
ASSESSORS PARCEL NO.: 94I-1315-005, 94I-1315-008 &
CALTRANS DIRECTOR'S DEED DD-032187-01-01

Area Data:

REFER TO OVERALL SITE PLAN SP-1A FOR CHICK-FIL-A
PARCEL SPECIFIC AREA CALCULATIONS.

Center Parking Calculations:

PLEASANTON SQUARE II	AREA (S.F.)	CERTIFICATE OF OCCUPANCY DESIGNATION	PARKING	PER CODE (S.F.)	TOTAL REQ'D.	TOTAL PROVIDED	EXCESS STALLS
SMART & FINAL	24,979	RETAIL	1 PER 300	300	83		
BEVMO	16,085	RETAIL	1 PER 300	300	54		
RETAIL	8,044	RETAIL	1 PER 300	300	27		
IN-N-OUT	3,076	QUICK-SERVICE RESTAURANT	1 PER 3 SEATS (71 SEATS MAX.)	200	24		
CHICK-FIL-A	5,399	QUICK-SERVICE RESTAURANT	1 PER 3 SEATS (195 SEATS MAX.)	200	65		
TOTAL	57,583				253	276	23
JOHNSON COURT							
DR. WISHART	3,296	OFFICE - MEDICAL	1 PER 150	150	22		
BETTER HOMES REALTY	10,470	OFFICE	1 PER 300	300	35		
TOTAL	13,766				57	61	4

Architect:

C.R.H.O.
195 SOUTH "C" STREET 200
TUSTIN, CA. 92780
PHONE: (714) 832-1834
FAX: (714) 832-1910
CONTACT: RUSSELL HATFIELD
E-MAIL: RUSSELL@CRHO.COM

Civil Engineer:

TRUXAW & ASSOC. INC.
265 S. ANITA DR. SUITE III
ORANGE, CA. 92868
PHONE: (714) 935-0265
FAX: (714) 935-0106
CONTACT: RANDY DECKER
E-MAIL:
RANDYDECKER@TRUXAW.COM

Landscape Architect:

JOHN HOURIAN & ASSOC.
107 AVENIDA MIRAMAR, SUITE "D"
SAN CLEMENTE, CA 92672
PHONE: (949) 489-5623
FAX: (949) 489-5632
CONTACT: JOHN HOURIAN
E-MAIL:
TEAM@HOURIANASSOCIATES.COM



5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998
PHONE: (404) 765-8000
FAX: (404) 684-8550

Drawing Index

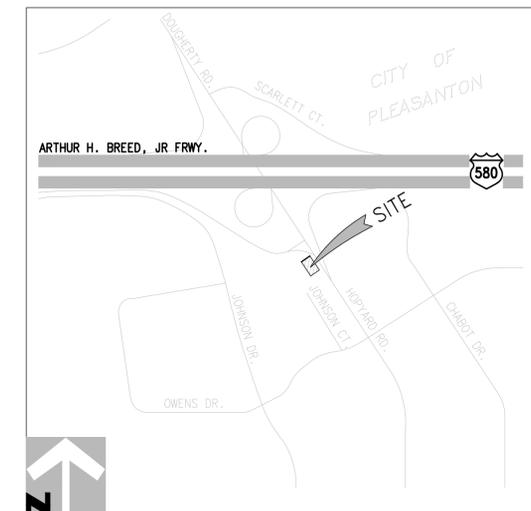
T-11 TITLE SHEET
SP-1A OVERALL SITE PLAN
SP-1B SITE PLAN

1 OF 3 ALTA/ACSM LAND TITLE SURVEY
2 OF 3 ALTA/ACSM LAND TITLE SURVEY
3 OF 3 ALTA/ACSM LAND TITLE SURVEY

1 OF 3 GRADING TITLE SHEET
2 OF 3 CONCEPTUAL GRADING PLAN
3 OF 3 CONCEPTUAL UTILITY PLAN
4 OF 4 SITE DRAINAGE PLAN

L-1 PRELIMINARY PLANTING PLAN

A-1.1 FLOOR PLAN
A-1.7 ROOF PLAN
A-2.1 EXTERIOR ELEVATIONS
A-2.2 EXTERIOR ELEVATIONS
A-3.5 REFUSE ENCLOSURE PLAN
PH-1 PHOTOMETRIC PLAN



VICINITY MAP
NOT TO SCALE



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△ _____

Mark Date By

△ _____

Mark Date By

△ _____

Seal

C · R · H · O

Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE
Name
MODIFIED 4800

PLEASANTON SQUARE
HOPYARD ROAD/ 580
PLEASANTON, CA

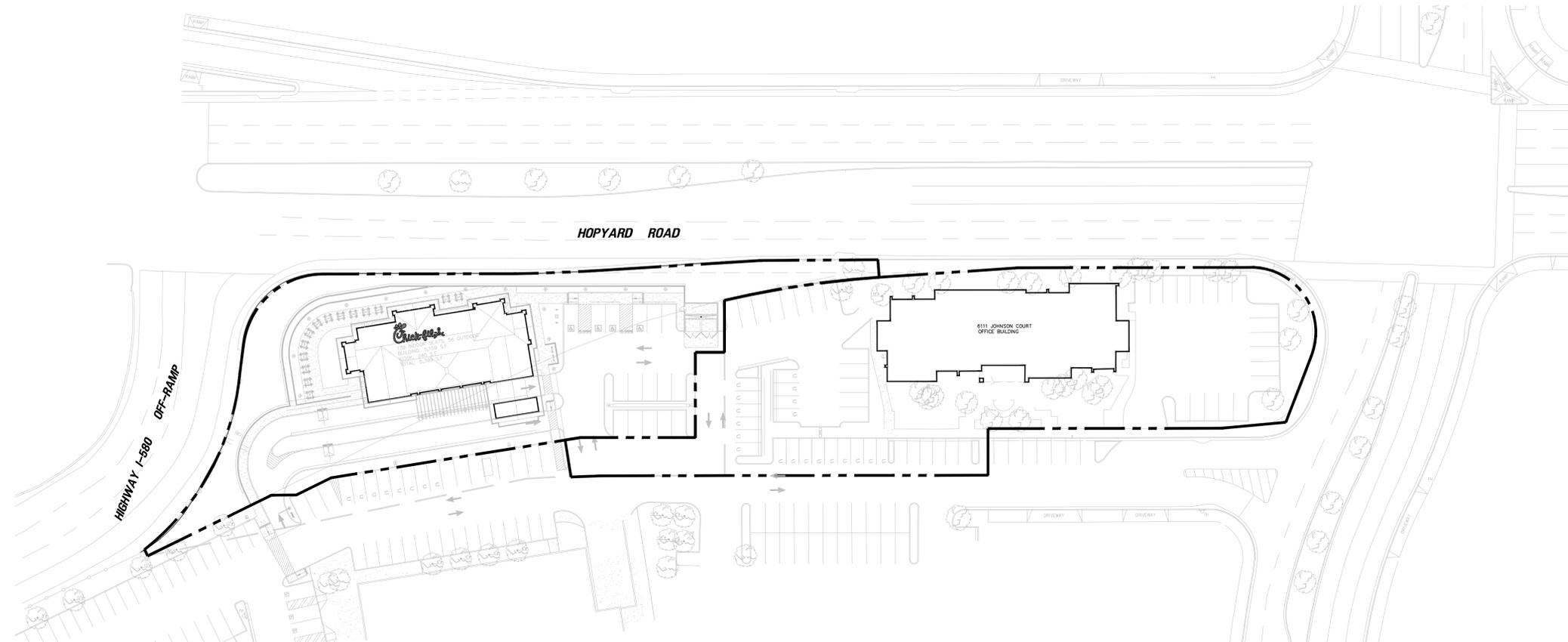
SHEET TITLE
TITLE SHEET

VERSION: 6
ISSUE DATE: 1-2011

Job No. : 11-260
Store : 3207
Date : 11-28-11
Drawn By : D.B.
Checked By: R.H.

Sheet

T-11



CHICK-FIL-A PARCEL:

BUILDING COVERAGE:	5,783 S.F.	15.7%
CFA BUILDING:	5,399 S.F.	
REFUSE ENCLOSURE:	384 S.F.	
PARKING AREA:	12,841 S.F.	34.9%
SIDEWALKS AREA:	4,177 S.F.	11.4%
LANDSCAPE AREA:	13,975 S.F.	38.3%
TOTAL AREA:	36,776 S.F.	100%

6111 JOHNSON COURT:

BUILDING COVERAGE:	7,567 S.F.	17.8%
PARKING AREA:	21,620 S.F.	51.1%
SIDEWALKS AREA:	2,304 S.F.	5.4%
LANDSCAPE AREA:	10,864 S.F.	25.7%
TOTAL AREA:	42,308 S.F.	100%



Chick-fil-A

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Architecture Interior Planning

195 South "C" Street 200

Tustin, California 92780

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MODIFIED 4800

PLEASANTON SQUARE
HOPYARD ROAD/ 580
PLEASANTON, CA

SHEET TITLE
OVERALL
SITE PLAN

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SP-1A



Chick-fil-e

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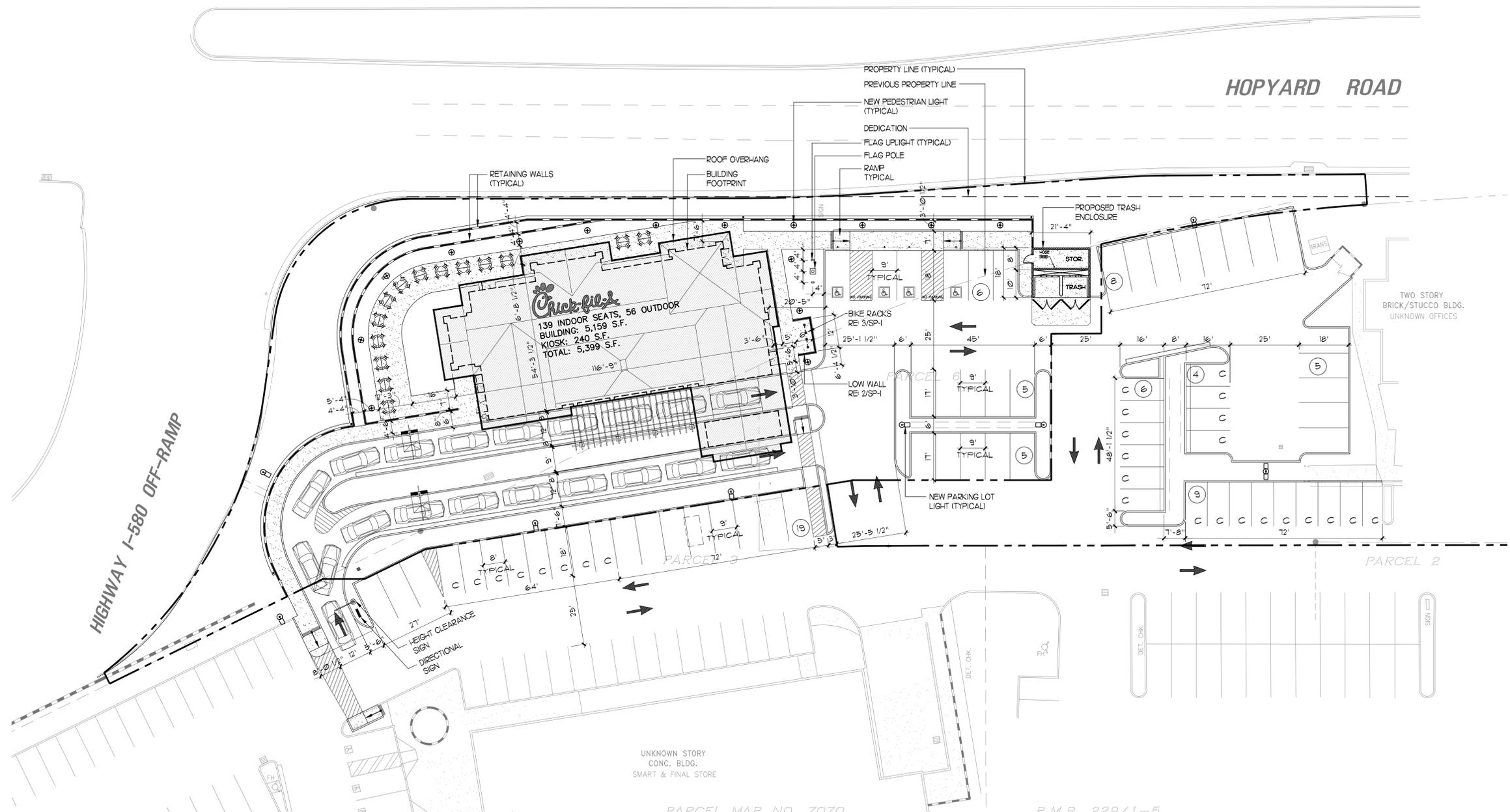
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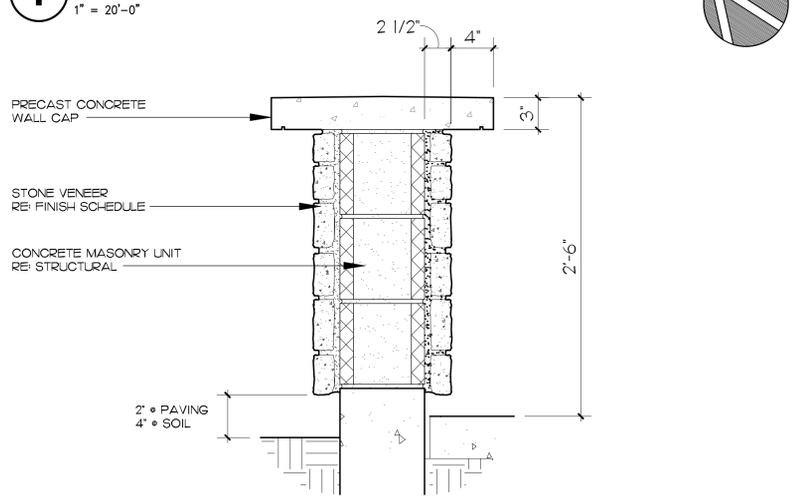
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SP-IB



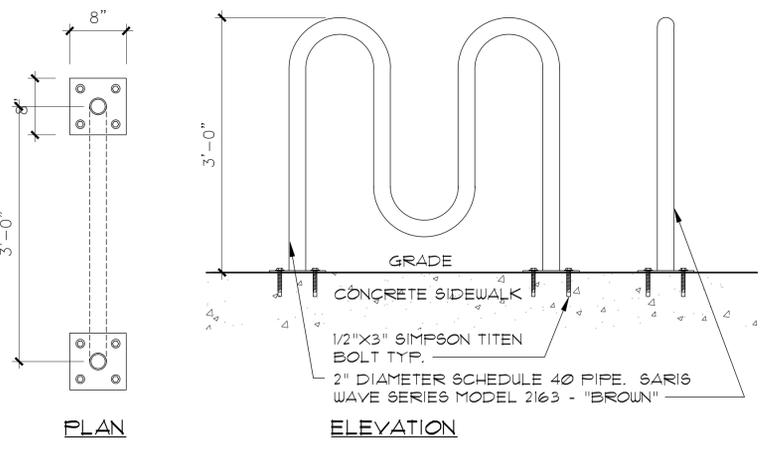
1 SITE PLAN

1" = 20'-0"



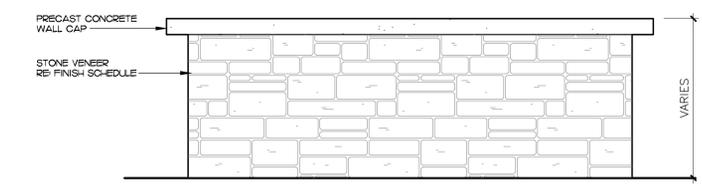
2 LOW WALL

1 1/2" = 1'-0"



3 BIKE RACK

NOT TO SCALE



4 TYPICAL SITE WALL ELEVATION

3/4" = 1'-0"

TITLE REPORT

THIS SURVEY AND EASEMENTS SHOWN HEREON ARE BASED ON INFORMATION CONTAINED IN THE PRECEDING TITLE REPORT PREPARED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY
5400 ALTA VILLAGE DRIVE, SUITE 110
SAN FRANCISCO, CALIFORNIA 94134
(866) 410-2155
POLICY/TITLE NUMBER: NCS-554283-50
COMMITMENT NUMBER: 303349-2013
ISSUE DATE: FEBRUARY 13, 2013
UPDATE: MARCH 8, 2013
TITLE OFFICER: FRANK SHIP SMITH / ROBY BROWN

LEGAL DESCRIPTION (PER TITLE REPORT)

REAL PROPERTY IN THE CITY OF PLEASANTON, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:
PARCELS 3 AND 6, PARCEL MAP 7070, FILED DECEMBER 13, 1996, MAP BOOK 229, PAGE 1, ALAMEDA COUNTY RECORDS.

EXPERIENCE THEREOF, ALL OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER OR THAT MAY BE PRODUCED FROM A DEPTH BELOW 500 FEET FROM THE SURFACE OF SAID LAND WITHOUT RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND FOR THE PURPOSES OF MINING, DRILLING, EXPLORING OR OTHER USE OF OR RIGHTS IN OR TO ANY PORTION OF THE SURFACE OF SAID LAND TO A DEPTH OF 500 FEET BELOW THE SURFACE THEREOF, AS RESERVED IN THE DEED FROM VOLK MOUNTAIN COMMUNITIES, INC., TO QUALIFIED INVESTMENTS, INC., DATED JUNE 25, 1967 RECORDED JUNE 27, 1967 IN REEL 1989, INAGE 207, ALAMEDA COUNTY RECORDS, OFFICIAL RECORDS.

PARCEL TWO:

A NON-EXCLUSIVE EASEMENT APPURTENANT TO PARCEL ONE AND INCIDENTS THERETO FOR THE CONSTRUCTION, RECONSTRUCTION, REPAIR, MAINTENANCE, EQUIPMENT AND OPERATION OF A ROADWAY AND INGRESS AND EGRESS THEREOF AND FOR THE CONSTRUCTION, RECONSTRUCTION, REPAIR, MAINTENANCE, EQUIPMENT AND OPERATION OF A SEWER MAIN, AND WATER MAIN, AND MAINTENANCE AGREEMENT RECORDED DECEMBER 13, 1996, SERIES NO. 96-316771, OFFICIAL RECORDS, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

A PORTION OF PARCELS 3, 4 AND 6, AS SHOWN ON PARCEL MAP NUMBER 7070, FILED DECEMBER 13, 1996, MAP BOOK 229, PAGE 1, ALAMEDA COUNTY RECORDS, AS SHOWN ON SHEETS 2 AND 3 HEREON, DESCRIBED AS FOLLOWS:

A 26 FOOT WIDE STRIP OF LAND MEASURED 13 FEET EASTERLY AND 13 FEET WESTERLY MEASURED AT RIGHT ANGLES OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE MOST EASTERLY CORNER OF PARCEL 2, COMMON WITH THE BOUNDARY CORNER OF PARCEL 6 OF SAID PARCEL MAP NUMBER 7070, THENCE ALONG THE BOUNDARY LINE COMMON TO SAID PARCELS 2 AND 6 NORTH 37° 48' 00" WEST 206.66 FEET TO THE SOUTHWEST CORNER OF PARCEL 3 OF SAID PARCEL MAP NUMBER 7070, THENCE NORTH 37° 48' 00" WEST 15.26 FEET TO A CURVE CONCAVE SOUTHWESTERLY WITH A RADIUS OF 999.03 FEET, THENCE NORTHWESTERLY CONTINUING ALONG THE BOUNDARY COMMON TO SAID PARCEL 6 AND 3 46.98 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04° 29' 36" TO THE NORTHWEST CORNER OF SAID PARCEL 6.

THE NORTHERLY TERMINUS OF SAID 26 FOOT SIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED TO THE NORTHERLY BOUNDARY OF SAID PARCEL 6 AND ITS SOUTHWESTERLY EXTENSION, THE SOUTHERLY TERMINUS OF SAID 26 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED TO THE SOUTHWESTERLY BOUNDARY OF SAID PARCEL 2 AND ITS NORTHWESTERLY EXTENSION.

NOTE: THE SEPARATE SALE OR CONVEYANCE OF PARCEL 3, PARCEL MAP 7070 WILL INVOLVE A RESERVATION OF THE PARCEL TWO EASEMENT DESCRIBED ABOVE.

PARCEL THREE:

A NON-EXCLUSIVE EASEMENT APPURTENANT TO PARCEL ONE AND INCIDENTS THERETO FOR CONSTRUCTING, INSTALLING, MAINTAINING, REPAIRING AND PROVIDING ACCESS TO AND EGRESS FROM THAT CERTAIN TRASH ENCLOSURE AND INCIDENTAL AREAS, ON THE TERMS AND CONDITIONS CONTAINED IN THE GRANT OF EASEMENT RECORDED AUGUST 13, 1997, SERIES NO. 97029439 OFFICIAL RECORDS, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

A PORTION OF PARCEL 2, AS SHOWN ON PARCEL MAP 7070 RECORDED DECEMBER 13, 1996 IN BOOK 229 OF PAGES 1 THROUGH 5 IN THE OFFICE OF THE RECORDER, COUNTY OF ALAMEDA, STATE OF CALIFORNIA.

NOTE:

SAID PARCEL IS NOT LOCATED IN THE CHECK-FIL-A SURVEY AREA, THE APPROXIMATE LOCATION OF SAID PEARL IS SHOWN HEREON, THIS IS ALSO REFLECTED IN EASEMENT NOTES AS EXCEPTION ITEM NO. 21, LISTED HEREON.

PARCEL FOUR:

THE FOLLOWING NON-EXCLUSIVE EASEMENTS APPURTENANT TO PARCEL ONE HEREON UPON THE FOLLOWING CONDITIONS AND PROVISIONS CONTAINED IN ARTICLE VI OF THE CERTAIN INSTRUMENT ENTITLED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND RESERVATION OF EASEMENTS RECORDED DECEMBER 13, 1996, SERIES NO. 96-316771, OFFICIAL RECORDS OF ALAMEDA COUNTY, SUBJECT TO THE RESTRICTIONS ON EASEMENTS SET FORTH IN SECTION 6.04 OF SAID INSTRUMENT IN SAID INSTRUMENT:

- A. A NON-EXCLUSIVE EASEMENT FOR THE PASSAGE OF VEHICLES AND FOR THE PASSAGE AND ACCOMMODATION OF PEDESTRIANS AS SET FORTH IN SECTION 6.01 OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS UTILITY AREAS, AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEDICATED ON THE SITE PLAN (EXHIBIT B) ATTACHED THERETO, AND;
- B. A NON-EXCLUSIVE EASEMENT FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REPAIR AND PROVISIONS CONTAINED IN ARTICLE VI OF SAID INSTRUMENT, AS SET FORTH IN SECTION 6.02 OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS UTILITY AREAS, AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEDICATED ON THE SITE PLAN (EXHIBIT B) ATTACHED THERETO, AND;
- C. A NON-EXCLUSIVE EASEMENT FOR THE PASSAGE OF WATER (INCLUDING, BUT NOT LIMITED TO, EXCESS STRONG WATER) AS SET FORTH IN SECTION 6.02(b) OF SAID ARTICLE VI OVER AND ACROSS, TO THE EXTENT NECESSARY TO ACCOMMODATE THE GENERAL DRAINAGE PLAN APPROVED BY THE CITY OF PLEASANTON AND/OR OTHER GOVERNMENT AGENCIES, ALL OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, AND;
- D. A NON-EXCLUSIVE EASEMENT AND MUTUAL RIGHT TO PARK VEHICLES AS SET FORTH IN SECTION 6.03(b) OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCELS 3 AND 4, PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS PARKING AREAS, AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEDICATED ON THE SITE PLAN (EXHIBIT B) ATTACHED THERETO.

UTILITIES, DRAINAGE, PARKING AND DRIVE ACCESS EASEMENT FOR FULL PARTICULARS CENTER NOT SHOWN HEREON. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

PARCEL FIVE:

A PORTION OF PARCEL 1 DESCRIBED IN GRANT REED NUMBER 23872, TO THE STATE OF CALIFORNIA, RECORDED DECEMBER 29, 1992 ON FILE IN BOOK 137, PAGE 37, OF PARCEL OFFICIAL RECORDS OF ALAMEDA COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWESTERLY TERMINUS OF THAT CORNER DESCRIBED AS SOUTH 36° 36' 51" EAST 1915 FEET IN THE EXCEPTION FROM PARCEL 1 IN GRANT REED NUMBER 23872, THENCE ALONG SAID COURSE, NORTH 36° 36' 51" WEST 117.78 FEET TO THE POINT OF BEGINNING, THENCE NORTH 37° 03' 48" WEST 73.31 FEET TO A 250.00 FOOT RADIOUS CURVE TO THE LEFT TO WHICH A RADIAL BEARS NORTH 66° 56' 12" EAST, THENCE ALONG THE ARC OF SAID CURVE 14.95 FEET THROUGH A CENTRAL ANGLE OF 3° 25' 03", THENCE NORTH 36° 29' 19" WEST 93.76 FEET TO A 70.00 FOOT RADIOUS CURVE TO THE RIGHT TO WHICH A RADIAL BEARS SOUTH 66° 56' 12" EAST, THENCE ALONG THE ARC OF SAID CURVE 44.29 FEET THROUGH A CENTRAL ANGLE OF 4° 57' 55", THENCE SOUTH 37° 16' 00" WEST 120.05 FEET TO A 50.00 FOOT RADIOUS CURVE TO THE LEFT TO WHICH A RADIAL BEARS NORTH 57° 07' 37" EAST, THENCE ALONG THE ARC OF SAID CURVE 71.41 FEET THROUGH A CENTRAL ANGLE OF 81° 50' 07", THENCE SOUTH 65° 20' 30" WEST 28.18 FEET TO A 155.00 FOOT RADIOUS CURVE TO THE RIGHT TO WHICH A RADIAL BEARS NORTH 57° 07' 37" EAST, THENCE ALONG THE ARC OF SAID CURVE 118.65 FEET THROUGH A CENTRAL ANGLE OF 47° 57' 55", THENCE SOUTH 37° 16' 00" WEST 442.22 FEET TO THE NORTHWESTERLY LINE OF SAID EXCEPTION OF SAID EXCEPTION, THENCE ALONG SAID LINE SOUTH 58° 44' 00" EAST 239.31 FEET TO A 600.00 FOOT RADIOUS CURVE TO THE RIGHT TO WHICH A RADIAL BEARS NORTH 31° 08' 00" EAST, THENCE ALONG THE ARC OF SAID CURVE 251.137 FEET TO THE POINT OF BEGINNING.

NOTE: DISTANCES SHOWN ABOVE ARE OF "CALTRANS PARCEL," DISTANCES MUST BE CONVERTED FROM GRID TO GROUND AS SHOWN ON SHEETS 2 AND 3 HEREON.

LEGAL DESCRIPTION NOTE: THE LEGAL DESCRIPTION SHOWN HEREON WAS TAKEN FROM THE SUBJECT TITLE REPORT AND INCLUDES PROPERTY BEYOND THE SCOPE OF WORK UNDER THIS SURVEY. THE CLIENT SPECIFIED LIMITS OF SURVEY IS AS SHOWN ON THIS SHEET.

EASEMENT NOTES:
REFER TO TITLE REPORT FOR ADDITIONAL INFORMATION AND DETAILS:
1-3 TENS THAT DEPT. WITH TAXES;
4 WATER RIGHTS CONVEYED TO THE CITY AND COUNTY OF SAN FRANCISCO, UPON THE TERMS AND CONDITIONS CONTAINED THEREIN, BY DOCUMENT RECORDED MARCH 20, 1920 IN BOOK 2550, PAGE 1, OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.

5 AN EASEMENT FOR BRIDGE, DRIVING OR PIPE LAYING OPERATIONS IN ORDER TO PROVIDE FOR THE DRAINAGE OR PROTECTION AND INCIDENTAL AREAS OF THE FACILITY, RECORDED OCTOBER 23, 1941 AS BOOK 4102, PAGE 423 OF OFFICIAL RECORDS.
IN FAVOR OF: PACIFIC TELEPHONE AND TELEGRAPH COMPANY, A CORPORATION AS DESCRIBED THEREIN.
TENS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT.
NOTE: NOT PLOTTABLE PER TITLE COMPANY'S EASEMENT PLOT EXHIBIT.

6 AN EASEMENT FOR PIPELINE AND INCIDENTAL PURPOSES, RECORDED APRIL 19, 1945 AS BOOK 4795, PAGE 436 OF OFFICIAL RECORDS.
IN FAVOR OF: THE UNITED STATES OF AMERICA AS DESCRIBED THEREIN.
NOTE: APPROXIMATE LOCATION SHOWN PER PARCEL MAP NO. 7070, PAGE 229/1-5.

7 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM FREEWAY HAVE BEEN REINDEMNIFIED IN THE DOCUMENT RECORDED APRIL 19, 1967 AS BOOK 1950, PAGE 100 OF OFFICIAL RECORDS.
NOTE: A PORTION OF THE REINDEMNIFIED ABUTTER'S RIGHTS MUST BE RESTORED TO PROVE ACCESS TO PARCEL THE.

8 A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF A CONTIGUOUS FREETWAY, HIGHWAY, ROADWAY OR TRANSIT FACILITY AS CONTAINED IN THE DOCUMENT RECORDED APRIL 19, 1967 AS BOOK 1950, PAGE 100 OF OFFICIAL RECORDS.
AN EASEMENT FOR WATER PIPELINES AND INCIDENTAL PURPOSES, RECORDED JUNE 19, 1997 AS BOOK 1983, PAGE 832 OF OFFICIAL RECORDS.
IN FAVOR OF: VALLEY COMMUNITY SERVICES DISTRICT AS DESCRIBED THEREIN.
TENS AND PROVISIONS CONTAINED IN THE ABOVE DOCUMENT.

9 PRESENTIAL BUILDING RESTRICTIONS WITH EXPRESS PROVISION FOR REVERSAL OF TITLE IN THE EVENT OF A VOLUNTARY AND CONJUNCTIVE QUALIFIED INVESTMENTS, INC., ALAMEDA CORPORATION, DATED AUGUST 31, 1987, AND RECORDED NOVEMBER 22, 1987, SERIES NO. A2750578, BOOK 2078, PAGE 576, OFFICIAL RECORDS OF ALAMEDA COUNTY.
NOTE: SAID DOCUMENT AMONG OTHER THINGS, REFERS TO ACCESS RESTRICTIONS TO A PORTION OF THE SITE, REFER TO SAID DOCUMENT FOR FULL PARTICULARS.
NOTE: A PORTION OF THE REINDEMNIFIED ABUTTER'S RIGHTS MUST BE RESTORED TO PROVE ACCESS TO PARCEL THE.

11 AN EASEMENT FOR UNDERGROUND AND ABOVE GROUND ELECTRICAL FACILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 01, 1979 AS INSTRUMENT NO. 79-220770 OF OFFICIAL RECORDS.
IN FAVOR OF: PACIFIC GAS & ELECTRIC COMPANY, ET AL AS DESCRIBED THEREIN.

12 THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (AFFECTS A PORTION OF PARCEL 6)
NOTE: SAID EASEMENT'S LOCATION IS AROUND FACILITY LOCATIONS, EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION AND IS NOT SHOWN HEREON.

13 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "ORDINANCE NO. 8627 RECORDED APRIL 22, 1981 AS INSTRUMENT NO. 81-064956 OF OFFICIAL RECORDS."
NOTE: SAID DOCUMENT AMONG OTHER THINGS, REFERS TO SITE TRAFFIC RESTRICTIONS. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

14 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT FOR DEVELOPMENT" RECORDED DECEMBER 23, 1981 AS INSTRUMENT NO. 81-213103 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS A DEVELOPMENT AGREEMENT WITH THE CITY OF PLEASANTON. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

15 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED JANUARY 28, 1982 AS INSTRUMENT NO. 82-013199 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE TEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, DISABILITY, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN OR SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODE §125959(f)), TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. §3604(c) OR CALIFORNIA GOVERNMENT CODE §125959(f).
NOTE: YOU MAY WISH TO CONTACT THE HOMEOWNERS ASSOCIATION REFERRED TO IN THE ABOVE DOCUMENT FOR INFORMATION REGARDING ASSESSMENTS, TRANSFER REQUIREMENTS OR OTHER MATTERS.

NOTE: SAID DOCUMENT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.

16 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM HOPYARD ROAD AND HAYWARD ROAD, HAVE BEEN REINDEMNIFIED ON THE MAP OF PARCEL MAP NO. 5974 ON FILE IN BOOK 137, PAGE 37, OF PARCEL MAPS, FOR PUBLIC SERVICE AND INCIDENTAL PURPOSES.

NOTE: SAID PARCEL MAP DOES NOT REFER TO ABUTTER'S RIGHTS TO HOPYARD ROAD. TITLE COMPANY TO OBTAIN THE RECORDS OF THIS TITLE.

17 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MEMORANDUM OF AGREEMENT" RECORDED JUNE 01, 1983 AS INSTRUMENT NO. 83-09581 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS A DEVELOPMENT AGREEMENT WITH PACE, THE CITY OF PLEASANTON AND DEVELOPER. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

18 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MEMORANDUM OF AGREEMENT" RECORDED MARCH 05, 1994 AS INSTRUMENT NO. 84-042527 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS A WILL SERVE AGREEMENT WITH PACE. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

19 AN EASEMENT FOR ROAD, PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JUNE 16, 1986 AS INSTRUMENT NO. 86-164468 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF PLEASANTON, A MUNICIPAL CORPORATION AS DESCRIBED THEREIN.

NOTE: SAID TITLE IS NOT IN CHECK-FIL-A PROPOSED PARCEL, NOT PLOTTED ON TITLE COMPANY'S EASEMENT PLOT EXHIBIT.

20 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MAINTENANCE OF AGREEMENT" RECORDED JUNE 16, 1986 AS INSTRUMENT NO. 86-144742 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS AN ACCESS EASEMENT MAINTENANCE AGREEMENT. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

21 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED DECEMBER 19, 1986 AS INSTRUMENT NO. 86-221880 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, DISABILITY, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN OR SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODE §125959(f)), TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. §3604(c) OR CALIFORNIA GOVERNMENT CODE §125959(f).
NOTE: YOU MAY WISH TO CONTACT THE HOMEOWNERS ASSOCIATION REFERRED TO IN THE ABOVE DOCUMENT FOR INFORMATION REGARDING ASSESSMENTS, TRANSFER REQUIREMENTS OR OTHER MATTERS.

NOTE: SAID DOCUMENT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.

22 AN EASEMENT FOR PUBLIC SERVICE AND INCIDENTAL PURPOSES, RECORDED JANUARY 29, 1991 AS INSTRUMENT NOS. 91-020681, 91-020682 AND 91-020683 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF PLEASANTON, A MUNICIPAL CORPORATION AS DESCRIBED THEREIN.

23 AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF PARCEL MAP NO. 7070 RECORDED DECEMBER 13, 1996 ON FILE IN BOOK 229, PAGE 1, OF PARCEL MAPS, FOR PUBLIC SERVICE AND INCIDENTAL PURPOSES.

24 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED DECEMBER 13, 1996 AS INSTRUMENT NO. 96316771 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, DISABILITY, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN OR SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODE §125959(f)), TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. §3604(c) OR CALIFORNIA GOVERNMENT CODE §125959(f).
NOTE: YOU MAY WISH TO CONTACT THE HOMEOWNERS ASSOCIATION REFERRED TO IN THE ABOVE DOCUMENT FOR INFORMATION REGARDING ASSESSMENTS, TRANSFER REQUIREMENTS OR OTHER MATTERS.

25 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED JANUARY 12, 1998 AS INSTRUMENT NO. 98007449 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.

26 THE TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION RESERVING DRIVEWAY EASEMENT AND MAINTENANCE AGREEMENT" RECORDED DECEMBER 13, 1996 AS INSTRUMENT NO. 96316772 OF OFFICIAL RECORDS.

27 AN UNRECORDED LEASE DATED AUGUST 14, 1996, EXECUTED BY DELTA PROPERTIES, A CALIFORNIA GENERAL PARTNERSHIP AS LESSOR BY A MEMORANDUM OF LEASE RECORDED JANUARY 03, 1997 AS INSTRUMENT NO. 97010888 OF OFFICIAL RECORDS.

28 DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREIN.

29 THE TERMS, PROVISIONS AND EASEMENTS CONTAINED IN THE DOCUMENT ENTITLED "GRANT OF EASEMENT" RECORDED AUGUST 13, 1997 AS INSTRUMENT NO. 97204549 OF OFFICIAL RECORDS.
NOTE: SAID EASEMENT IS NOT IN CHECK-FIL-A SURVEY AREA, THE APPROXIMATE LOCATION OF SAID TITLE IS SHOWN HEREON.

30 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 18, 1997 AS INSTRUMENT NO. 97243989 OF OFFICIAL RECORDS.
IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION AS DESCRIBED THEREIN.

NOTE: THE EXACT LOCATION OF SAID EASEMENT IS NOT PLOTTABLE FROM THE RECORD INFORMATION AND NOT LOCATED IN THE PROPOSED CHECK-FIL-A PARCEL.

31 THIS ITEM HAS BEEN INTENTIONALLY DELETED.

32 ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH HAVE PATTERNED THE SAME OR SIMILAR MATTERS SHOULD BE SHOWN UNDER THIS MATTERS) THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMENT. WE WILL REQUIRE A STATEMENT OF INFORMATION.

33 PRIOR TO THE ISSUANCE OF ANY POLICY OF TITLE INSURANCE, THE COMPANY WILL REQUIRE:

AN ALTA/ACSM SURVEY OF RECENT DATE WHICH COMPLETES WITH THE CURRENT MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SERVICES.

34 RIGHTS OF PARTIES IN POSSESSION.
35 BY AND BETWEEN PLEASANTON SQUARE PARTNERS II, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AS LESSOR AND SMART & FINAL STORES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE DATED JANUARY 23, 2008 AS INSTRUMENT NO. 2008019866 OF OFFICIAL RECORDS.
DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREIN.
A DOCUMENT RECORDED FEBRUARY 13, 2013 AS INSTRUMENT NO. 2013064114 OF OFFICIAL RECORDS PROVIDES THAT THE ABOVE DOCUMENT WAS SUBORPNATED TO THE DOCUMENT RECORDED FEBRUARY 13, 2013 AS INSTRUMENT NO. 2013064110 OF OFFICIAL RECORDS.
NOTE: GENERAL LOCATION OF "RELEASE PARCEL" SHOWN HEREON. AFFECT UNKNOWN REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

36 A DEED OF TRUST TO SECURE AN ORIGINAL INTERESTS OF \$8,200,000.00 RECORDED FEBRUARY 13, 2013 AS INSTRUMENT NO. 2013064110 OF OFFICIAL RECORDS.

DATED: FEBRUARY 12, 2013
TRUSTOR: PLEASANTON SQUARE PARTNERS II, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
TRUSTEE: FIRST AMERICAN TITLE INSURANCE COMPANY
BENEFICIARY: JOHN HANCOCK LIFE INSURANCE COMPANY (U.S.A.), A MICHIGAN CORPORATION

A DOCUMENT ENTITLED "ASSIGNMENT OF LEASES AND REITS" RECORDED FEBRUARY 13, 2013 AS INSTRUMENT NO. 2013064111 OF OFFICIAL RECORDS, AS ADDITIONAL SECURITY FOR THE PAYMENT OF THE INDEBTEDNESS SECURED BY THE DEED OF TRUST.

THE LAND AND OTHER PROPERTY.

THE FOLLOWING MATTERS AFFECT PARCEL FIVE:

37 GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2013-2014. A LIEN NOT YET DUE OR PAYABLE.

38 GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2012-2013. A LIEN NOT YET DUE OR PAYABLE. THE EMPLOY STATUS IS TERMINATED. AN ADDITIONAL TAX MAY BE LEVIED.

39 THE LEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 53.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.

40 AN EASEMENT FOR PIPELINE AND INCIDENTAL PURPOSES, RECORDED APRIL 19, 1945 AS BOOK 4795, PAGE 436 OF OFFICIAL RECORDS.
IN FAVOR OF: THE UNITED STATES OF AMERICA AS DESCRIBED THEREIN.

41 RIGHTS OF PARTIES IN POSSESSION.

PLOTTED ITEM IS NOT LISTED IN THE SUBJECT TITLE REPORT:

42 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

43 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

44 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

45 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

46 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

47 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

48 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

49 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

50 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

51 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

52 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

53 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

54 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

55 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

56 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

57 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

58 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

59 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

60 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

61 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

62 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

63 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

64 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO. 7070, PAGE 229/1-5.

65 A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED ON FILE IN BOOK 16, 1989 AS INSTRUMENT NO. 86-147476 OFFICIAL RECORDS. SAID PLOTTED IS SHOWN ON PARCEL MAP NO



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

Mark Date By

Mark Date By

Seal



Prepared by:
**JOSEPH C. TRUXAW
& ASSOCIATES, INC.**
Civil Engineers and
Land Surveyors
285 S. AVILA DRIVE, SUITE 111
ORANGE, CA 92668
(714) 955-0256
(714) 955-0106 (fax)

STORE
S.W.C. HOPYARD
ROAD & I-580
OFF-RAMP
PLEASANTON,
CALIFORNIA

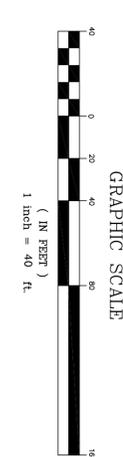
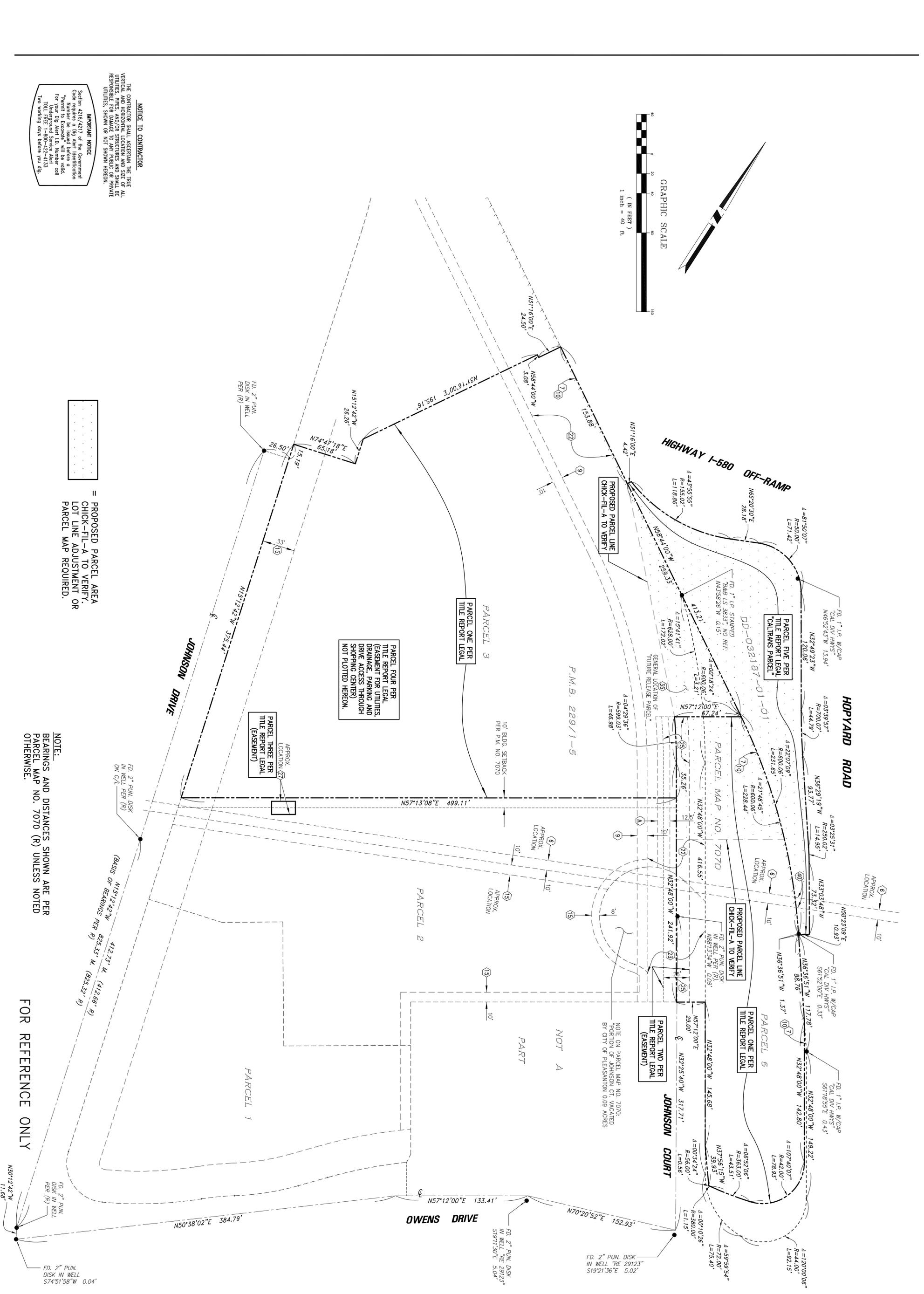
SHEET TITLE
ALTA/ACSM LAND
TITLE SURVEY

VERSION:
ISSUE DATE:

Job No. : CFA12016
Store : #3207
Date : 6/18/13

Drawn By : SMS
Checked By : SMH
Sheet

2 of 3



NOTICE TO CONTRACTOR

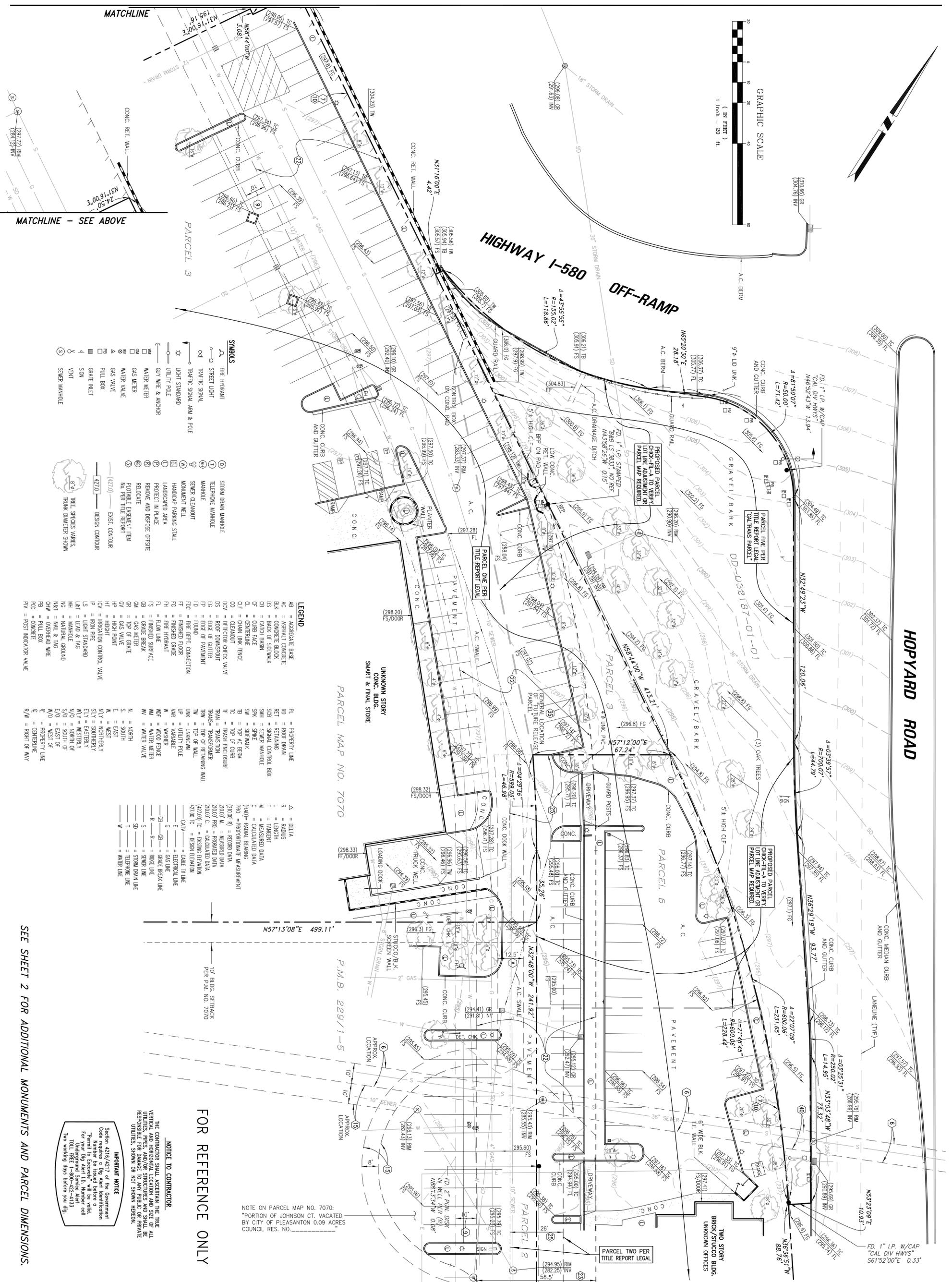
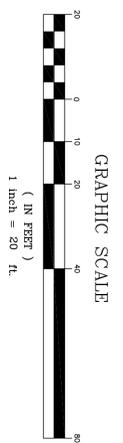
THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES SHOWN ON THIS SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE
Section 4316/4317 of the Government Code requires a Dig Alert Identification Number be issued before a "Permit to Excavate" will be void. For your Dig Alert ID, Number call Toll Free 1-800-422-4135. Two working days before you dig.

= PROPOSED PARCEL AREA
CHICK-FIL-A TO VERIFY.
LOT LINE ADJUSTMENT OR
PARCEL MAP REQUIRED.

NOTE:
BEARINGS AND DISTANCES SHOWN ARE PER
PARCEL MAP NO. 7070 (R) UNLESS NOTED
OTHERWISE.

FOR REFERENCE ONLY



- SYMBOLS**
- ⊕ FIRE HYDRANT
 - ⊕ STREET LIGHT
 - ⊕ TRAFFIC SIGNAL
 - ⊕ LIGHT STANDARD
 - ⊕ UTILITY POLE
 - ⊕ WATER METER
 - ⊕ GAS METER
 - ⊕ WATER VALVE
 - ⊕ GAS VALVE
 - ⊕ PULL BOX
 - ⊕ SIGN
 - ⊕ VENT
 - ⊕ SEWER MANHOLE
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ TELEPHONE MANHOLE
 - ⊕ SEMI CLEANOUT
 - ⊕ MONUMENT WELL
 - ⊕ HANDICAP PARKING STALL
 - ⊕ LANDSCAPED AREA
 - ⊕ PROJECT IN PLACE
 - ⊕ REMOVE AND DISPOSE OFFSITE
 - ⊕ RELOCATE
 - ⊕ R/O RABE ESSENTIAL ITEM
 - ⊕ NO. PER TITLE REPORT
 - ⊕ (427.0) EXIST. CONTOUR
 - ⊕ (427.0) DESIGN CONTOUR
 - ⊕ 8-3 TREE, SPECIES VARIES, TRUNK DIAMETER SHOWN

- LEGEND**
- AB = ASPHALT BASE
 - AC = ASPHALT CONCRETE
 - BLK = CONCRETE BLOCK
 - BS = BRICK OR SIDEWALK
 - SM = SPONGE MASONRY
 - C = CURB FACE
 - Q = CENTERLINE
 - CF = CHAIN LINK FENCE
 - CO = CLEANOUT
 - DDV = DETECTOR CHECK VALVE
 - DO = ROOF DOWNSPOUT
 - EG = EDGE OF GUTTER
 - EP = EDGE OF PAVEMENT
 - FO = FOUND
 - FPC = FREE DEPT. CONNECTION
 - FF = FINISHED FLOOR
 - FG = FINISHED GRADE
 - FL = FINISHED FLOOR
 - FS = FINISHED SURFACE
 - FS = FINISHED SURFACE
 - GS = GAS VALVE
 - GR = GAS VALVE
 - HP = HIGH POINT
 - HT = HEIGHT
 - ICV = IRRIGATION CONTROL VALVE
 - IS = IRON PIPE
 - LS = LEAD S/PANORAMA
 - LA = LANDSCAPE
 - MC = MASONRY
 - MG = NATURAL GROUND
 - MAI = MAIL & TAG
 - OW = OVERHEAD WIRE
 - PG = PULL BOX
 - PC = CONCRETE
 - P/W = POST INDICATOR VALVE
 - PL = PROPERTY LINE
 - RD = ROOF DRAIN
 - RETI = RETAINING
 - RSB = SIGNAL CONTROL BOX
 - SM = SPONGE MASONRY
 - SP = SPONGE MASONRY
 - SW = SIGN
 - TE = TRASH ENCLOSURE
 - TC = TOP OF CURB
 - TR = TRASH ENCLOSURE
 - TRNS = TRANSITION
 - TRNS = TRANSITION
 - TRW = TOP OF RETAINING WALL
 - UP = TOP OF WALL
 - UNK = UNKNOWN
 - UP = UTILITY POLE
 - VAR = VARIABLE
 - W = WOOD FENCE
 - WF = WOOD FENCE
 - WM = WATER METER
 - WV = WATER VALVE
 - N = NORTH
 - S = SOUTH
 - E = EAST
 - W = WEST
 - NLY = NORTHERLY
 - Sly = SOUTHERLY
 - Ely = EASTERLY
 - Wly = WESTERLY
 - N/O = NORTH OF
 - S/O = SOUTH OF
 - E/O = EAST OF
 - W/O = WEST OF
 - PL = PROPERTY LINE
 - Q = CENTERLINE
 - R/W = RIGHT OF WAY

- DELTA**
- Δ = DELTA
 - R = RADII
 - RETI = RETAINING
 - L = LENGTH
 - I = HANGING
 - C = CALCULATED DATA
 - D = DIMENSIONED DATA
 - (RAD) = RADIAL BEARING
 - PRO = PROPORTIONATE MEASUREMENT
 - 2000 N = RECORDED DATA
 - 2000 P = RECORDED DATA
 - 2000 C = DECIMAL DATA
 - 4270.0 = DESIGN ELEVATION
 - 4270.0 = DESIGN ELEVATION
 - CAV = CABLE T.V. LINE
 - E = ELECTRICAL LINE
 - G = GAS LINE
 - GR = GRADE BREAK LINE
 - R = HOSE LINE
 - S = SEWER LINE
 - SP = STORM DRAIN LINE
 - T = TELEPHONE LINE
 - W = WATER LINE

NOTE ON PARCEL MAP NO. 7070:
 PORTION OF JOHNSON CT. VACATED BY VOTING OF BOARD OF ALD. AND COUNCIL RES. NO. 09 ACRES

FOR REFERENCE ONLY

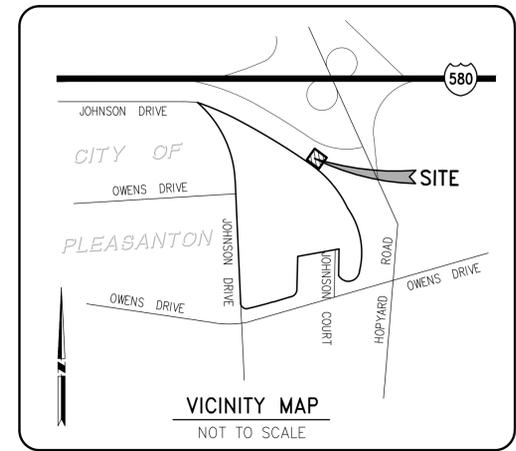
NOTE TO CONTRACTOR:
 THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTE:
 Section 4216, 4217 of the Government Code require that a permit to excavate be obtained before any excavation. For your Dig Alert 10, Number call 1-800-427-4133. Two working days before you dig.

JOSEPH C. TRILAXI & ASSOCIATES, INC. Civil Engineers and Land Surveyors 785 S. AVILA DRIVE, SUITE 111 ORANGE, CA 92668 (714) 535-0255 (714) 535-0106 (FAX)										
Seal 	Revisions: <table border="1"> <tr> <th>Mark</th> <th>Date</th> <th>By</th> </tr> <tr> <td>△</td> <td></td> <td></td> </tr> <tr> <td>▽</td> <td></td> <td></td> </tr> </table>	Mark	Date	By	△			▽		
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CONCEPTUAL GRADING AND UTILITY PLANS

FOR CHICK-FIL-A RESTAURANT NO. 3207 PLEASANTON SQUARE PLEASANTON, CA



SHEET #	TITLE
1 OF 4	TITLE SHEET
2 OF 4	CONCEPTUAL GRADING PLAN
3 OF 4	CONCEPTUAL UTILITY PLAN
4 OF 4	STORM DRAIN PLAN

Mark	Date	By
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△		
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* FOR REFERENCE

TITLE REPORT

THIS SURVEY AND EASEMENTS SHOWN HEREON ARE BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT PREPARED BY:

FIRST AMERICAN TITLE INSURANCE COMPANY
4380 LA JOLLA VILLAGE DRIVE, SUITE 110
SAN DIEGO, CA 92122
(658) 410-2150

POLICY/FILE NUMBER: NCS-554782-5D
COMMITMENT DATE: FEBRUARY 15, 2013
UPDATE: MARCH 8, 2013
TITLE OFFICER: FRANK SKIP SANTY / TRIXY BROWN

LEGAL DESCRIPTION (PER TITLE REPORT)

REAL PROPERTY IN THE CITY OF PLEASANTON, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:

PARCELS 3 AND 6, PARCEL MAP 7070, FILED DECEMBER 13, 1996, MAP BOOK 229, PAGE 1, ALAMEDA COUNTY RECORDS.

EXCEPTING THEREFROM ALL OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER OR THAT MAY BE PRODUCED FROM A DEPTH BELOW 500 FEET FROM THE SURFACE OF SAID LAND WITHOUT RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND FOR THE PURPOSE OF MINING, DRILLING, EXPLORING OR EXTRACTING SUCH OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES OR OTHER USE OF OR RIGHTS IN OR TO ANY PORTION OF THE SURFACE OF SAID LAND TO A DEPTH OF 500 FEET BELOW THE SURFACE THEREOF, AS RESERVED IN THE DEED FROM VOLK MCLAIN COMMUNITIES, INC., TO QUALIFIED INVESTMENTS, INC., DATED JUNE 25, 1967 RECORDED JUNE 27, 1967 IN REEL 1988, IMAGE 207, ALAMEDA COUNTY RECORDS, OFFICIAL RECORDS.

PARCEL TWO:

A NON-EXCLUSIVE EASEMENT APPURTENANT TO PARCEL ONE AND INCIDENTS THERETO FOR THE CONSTRUCTION, RECONSTRUCTION, REPAIR, MAINTENANCE, ENLARGEMENT AND OPERATION OF A ROADWAY AND INGRESS AND EGRESS THEREFROM AND FOR PUBLIC UTILITIES ON THE TERM AND CONDITIONS CONTAINED IN THE DECLARATION RESERVING DRIVEWAY EASEMENT, AND MAINTENANCE AGREEMENT RECORDED DECEMBER 13, 1996, SERIES NO. 96-316772, OFFICIAL RECORDS, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

A PORTION OF PARCELS 2, 3 AND 6 AS SHOWN ON PARCEL MAP NUMBER 7070 RECORDED DECEMBER 13, 1996 IN BOOK 229 OF PARCEL MAPS AT PAGES 1 THROUGH 5 IN THE OFFICE OF THE RECORDER, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

A 26 FOOT WIDE STRIP OF LAND MEASURED 13 FEET EASTERLY AND 13 FEET WESTERLY MEASURED AT RIGHT ANGLES OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE MOST EASTERLY CORNER OF PARCEL 2, COMMON WITH THE BOUNDARY CORNER OF PARCEL 6 OF SAID PARCEL MAP NUMBER 7070; THENCE ALONG THE BOUNDARY LINE COMMON TO SAID PARCELS 2 AND 6 NORTH 32° 48' 00" WEST 206.66 FEET TO THE SOUTHEAST CORNER OF PARCEL 3 OF SAID PARCEL MAP NUMBER 7070; THENCE CONTINUING ALONG THE BOUNDARY LINE COMMON WITH SAID PARCELS 3 AND 6 NORTH 32° 48' 00" WEST 35.26 FEET TO A CURVE CONCAVE SOUTHWESTERLY WITH A RADIUS OF 589.03 FEET; THENCE NORTHWESTERLY CONTINUING ALONG THE BOUNDARY COMMON TO SAID PARCEL 6 AND 3 46.98 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04° 29' 36" TO THE NORTHWEST CORNER OF SAID PARCEL 6.

THE NORTHERLY TERMINUS OF SAID 26 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED TO THE NORTHERLY BOUNDARY OF SAID PARCEL 6 AND ITS SOUTHWESTERLY EXTENSION; THE SOUTHERLY TERMINUS OF SAID 26 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED TO THE SOUTHEASTERLY BOUNDARY OF SAID PARCEL 2 AND ITS NORTHEASTERLY EXTENSION.

NOTE: THE SEPARATE SALE OR CONVEYANCE OF PARCEL 3, PARCEL MAP 7070 WILL INVOLVE A RESERVATION OF THE PARCEL TWO EASEMENT DESCRIBED ABOVE.

PARCEL THREE:

A NON-EXCLUSIVE EASEMENT APPURTENANT TO PARCEL ONE AND INCIDENTS THERETO FOR CONSTRUCTING, INSTALLING, MAINTAINING, REPAIRING AND PROVIDING ACCESS TO AND EGRESS FROM THAT CERTAIN TRASH ENCLOSURE AND INCIDENTAL AREA ON THE TERMS AND CONDITIONS CONTAINED IN THE GRANT OF EASEMENT RECORDED AUGUST 13, 1997, SERIES NO. 97204349 OFFICIAL RECORDS, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

A PORTION OF PARCEL 2, AS SHOWN ON PARCEL MAP 7070 RECORDED DECEMBER 13, 1996 IN BOOK 229 OF MAPS AT PAGES 1 THROUGH 5 IN THE OFFICE OF THE RECORDER, COUNTY OF ALAMEDA, STATE OF CALIFORNIA.

NOTE:

SAID PARCEL IS NOT LOCATED IN THE CHICK-FIL-A SURVEY AREA. THE APPROXIMATE LOCATION OF SAID ITEM IS SHOWN HEREON, ITEM IS ALSO REFERENCED IN EASEMENT NOTES AS EXCEPTION ITEM NO. 27, LISTED HEREON.

PARCEL FOUR:

THE FOLLOWING NON-EXCLUSIVE EASEMENTS APPURTENANT TO PARCEL ONE HEREIN UPON THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN ARTICLE VI OF THAT CERTAIN INSTRUMENT ENTITLED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND RESERVATION OF EASEMENTS RECORDED DECEMBER 13, 1996, SERIES NO. 96-316771, OFFICIAL RECORDS OF ALAMEDA COUNTY, SUBJECT TO THE RESTRICTIONS ON EASEMENTS SET FORTH IN SECTION 6.04 OF SAID ARTICLE VI IN SAID INSTRUMENT.

A. A NON-EXCLUSIVE EASEMENT FOR THE PASSAGE OF VEHICLES AND FOR THE PASSAGE AND ACCOMMODATION OF PEDESTRIANS AS SET FORTH IN SECTION 6.01 OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS EASEMENT AREAS, AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEPICTED ON THE SITE PLAN (EXHIBIT B) ATTACHED THERETO, AND;

B. A NON-EXCLUSIVE EASEMENT FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REMOVAL, REPLACEMENT AND OPERATION OF UTILITIES AS DELINEATED AND SET FORTH IN SECTION 6.02(A) OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS UTILITY AREAS, AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEPICTED ON THE SITE PLAN (EXHIBIT B) ATTACHED THERETO; AND

C. A NON-EXCLUSIVE EASEMENT FOR THE DRAINAGE OF WATER (INCLUDING, BUT NOT LIMITED TO, EXCESS STORM WATER) AS SET FORTH IN SECTION 6.02(B) OF SAID ARTICLE VI OVER AND ACROSS, TO THE EXTENT NECESSARY TO ACCOMMODATE THE GENERAL DRAINAGE PLAN APPROVED BY THE CITY OF PLEASANTON AND/OR OTHER GOVERNMENT AUTHORITIES, ALL OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, AND;

D. A NON-EXCLUSIVE EASEMENT AND MUTUAL RIGHT TO PARK VEHICLES AS SET FORTH IN SECTION 6.03(B) OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCELS 3 AND 4, PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS PARKING AREAS, AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEPICTED ON THE SITE PLAN (EXHIBIT B) ATTACHED THERETO.

NOTE: UTILITIES, DRAINAGE, PARKING AND DRIVE ACCESS EASEMENT THROUGH SHOPPING CENTER NOT SHOWN HEREON. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

PARCEL FIVE:

A PORTION OF PARCEL 1 DESCRIBED IN GRANT DEED NUMBER 32187, TO THE STATE OF CALIFORNIA, RECORDED APRIL 19, 1967 IN REEL 1950, IMAGE 100 OF OFFICIAL RECORDS OF ALAMEDA COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEASTERLY TERMINUS OF THAT COURSE DESCRIBED AS "SOUTH 36° 36' 51" EAST, 119.15 FEET" IN THE EXCEPTION FROM PARCEL 1 IN SAID GRANT DEED, THENCE ALONG SAID COURSE, NORTH 36° 36' 51" WEST, 117.78 FEET TO THE POINT OF BEGINNING; THENCE NORTH 53° 23' 09" EAST, 10.93 FEET; THENCE NORTH 33° 03' 48" WEST, 73.31 FEET TO A 250.00 FOOT RADIUS CURVE TO THE LEFT TO WHICH A RADIAL BEARS NORTH 56° 56' 12" EAST; THENCE ALONG THE ARC OF SAID CURVE 14.95 FEET THROUGH A CENTRAL ANGLE OF 3° 25' 31"; THENCE NORTH 36° 29' 19" WEST, 83.76 FEET TO A 700.00 FOOT RADIUS CURVE TO THE RIGHT TO WHICH A RADIAL BEARS SOUTH 53° 30' 41" WEST; THENCE ALONG THE ARC OF SAID CURVE 44.79 FEET THROUGH A CENTRAL OF 3° 59' 57"; THENCE 32° 49' 23" WEST, 120.05 FEET TO A 50.00 FOOT RADIUS CURVE TO THE LEFT TO WHICH A RADIAL BEARS NORTH 57° 10' 37" EAST; THENCE ALONG THE ARC OF SAID CURVE 71.41 FEET THROUGH A CENTRAL ANGLE OF 81° 50' 07"; THENCE SOUTH 65° 20' 30" WEST, 28.18 FEET TO A 155.00 FOOT RADIUS CURVE TO THE RIGHT TO WHICH A RADIAL BEARS SOUTH 24° 39' 30" EAST; THENCE ALONG THE ARC OF SAID CURVE 118.85 FEET THROUGH A CENTRAL ANGLE OF 43° 55' 55"; THENCE SOUTH 31° 16' 00" WEST, 4.42 FEET TO THE NORTHEASTERLY LINE OF SAID EXCEPTION OF SAID EXCEPTION; THENCE ALONG SAID LINE SOUTH 58° 44' 00" EAST, 259.31 FEET TO A 600.00 FOOT RADIUS CURVE TO THE RIGHT TO WHICH A RADIAL BEARS NORTH 31° 46' 00" EAST; THENCE ALONG THE ARC OF SAID CURVE 231.63 FEET THROUGH A CENTRAL OF 22° 07' 09"; THENCE SOUTH 36° 36' 51" EAST, 1.37 FEET TO THE POINT OF BEGINNING.

NOTE:

DISTANCES SHOWN ABOVE ARE OF "CALTRANS PARCEL", DISTANCES MUST BE CONVERTED FROM GRID TO GROUND AS SHOWN ON SHEETS 2 AND 3 HEREON.

APN: 941-1315-005 AS TO PARCEL 3
941-1315-008 AS TO PARCEL 6
NOT ASSESSED AS TO PARCEL 5

LEGAL DESCRIPTION NOTE:

THE LEGAL DESCRIPTION SHOWN HEREON WAS TAKEN FROM THE SUBJECT TITLE REPORT AND INCLUDES PROPERTY BEYOND THE SCOPE OF WORK LIMITS OF THIS SURVEY. THE CLIENT SPECIFIED LIMITS OF SURVEY IS AS SHOWN ON THIS SURVEY.

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY POINTS OF CONNECTION TO PIPES, INLETS, CURBS, GUTTERS, ETC. AND NOTIFY TRUXAW AND ASSOCIATES OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, BUILDING SETBACKS, CONCRETE COLORS AND FINISHES, STRUCTURAL DETAILS, WALKWAYS, EXPANSION JOINT LOCATIONS, UTILITIES, ETC.
- ALL WORK SHALL BE DONE IN STRICT CONFORMANCE WITH CURRENT CITY OF PLEASANTON AND SPPWC STANDARDS. WORK SHALL ALSO CONFORM TO APPLICABLE BUILDING CODES (CA BUILDING CODE, CA PLUMBING CODE, ETC.) AS INTERPRETED BY THE CITY OF PLEASANTON.
- ALL CONTRACTORS PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM THEIR OPERATIONS, WHETHER OR NOT SHOWN ON THESE PLANS.
- EXISTING UNDERGROUND UTILITY LINE LOCATIONS WERE TAKEN FROM AVAILABLE RECORDS. OTHER UTILITIES MAY EXIST THAT ARE NOT PLOTTED HEREON.
- EXISTING UNDERGROUND UTILITIES ARE TO BE RELOCATED AS REQUIRED TO AVOID CONFLICT WITH PROPOSED STRUCTURES.
- EXISTING PUBLIC UTILITY EASEMENTS IN CONFLICT WITH PROPOSED STRUCTURES ARE TO BE QUITCLAIMED WITH THE APPROVAL OF THE UTILITY COMPANY. NEW EASEMENTS ARE TO BE GRANTED AT PROPOSED UTILITY LOCATIONS.
- CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND LOCATIONS 48 HOURS BEFORE YOU DIG. (800) 422-4133.
- THE CONTRACTOR SHALL RENEW OR REPLACE ANY EXISTING TRAFFIC STRIPING AND/OR PAVEMENT MARKINGS, WHICH DURING HIS OPERATIONS HAVE BEEN EITHER REMOVED OR THE EFFECTIVENESS OF WHICH HAS BEEN REDUCED.
- THE CONTRACTOR SHALL COMPLY WITH THE SOILS REPORT (AND ADDENDA) FOR THIS PROJECT AND ALL RECOMMENDATIONS FROM THE SOILS ENGINEER.
- ALL TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM AN ALTA/ACSM TITLE SURVEY DATED JUNE 18, 2013 BY TRUXAW AND ASSOCIATES, INC.
- THESE PLANS ARE BASED ON THE SITE PLAN PROVIDED TO TRUXAW AND ASSOCIATES ON 07-01-13.
- ALL STORM DRAIN AND SEWER PIPE SHALL BE PLACED BEGINNING AT THE DOWNSTREAM POINT OF CONNECTION AND CONTINUING TO THE UPSTREAM TERMINUS. PIPE PLACEMENT SHALL BE CONTINUOUS. DEVIATIONS FROM THIS SEQUENCE WILL NOT BE PERMITTED. POTHOLING INFORMATION, WHERE REQUIRED, SHALL BE OBTAINED AND PROVIDED TO TRUXAW AND ASSOCIATES PRIOR TO CONSTRUCTION.
- ALL IMPROVEMENTS BEYOND THE LIMITS OF GRADING ARE TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE.

RECORD DATA

(R) = RECORD DATA PER PARCEL MAP NO. 7070, PARCEL MAP BOOK 229, PAGES 1-5

FLOOD ZONE

COMMUNITY NUMBER: 060012 0309G, EFFECTIVE DATE: AUGUST 3, 2009
ZONE: X (SHADED)

AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM THE 1% ANNUAL CHANCE OF FLOODING.

INFORMATION OBTAINED FROM CERTIFIED FLOOD SYSTEMS, INC. ON 05/14/2013

UTILITY PROVIDERS

STORM DRAIN.....CITY OF PLEASANTON ENGINEERING.....925-931-5650
SEWER.....CITY OF PLEASANTON ENGINEERING.....925-931-5650
WATER.....CITY OF PLEASANTON ENGINEERING.....925-931-5650
GAS.....PACIFIC GAS AND ELECTRIC.....925-519-6536
CABLE.....CABLECOM OF CALIFORNIA.....707-759-4070
PHONE.....AT&T.....925-823-4358
ELECTRIC.....PACIFIC GAS AND ELECTRIC.....925-519-6536

BENCHMARK

STANDARD U.S.C. & G.S. BRONZE DISK IN THE CENTERLINE NORTHEASTERLY SIDEWALK OF ARROYO MOCHO/HOPYARD ROAD BRIDGE, 15' NORTHWEST OF SOUTHWEST CORNER OF BRIDGE. STAMPED C-972 AND RESET 1967.
ELEVATION = 300.54 FEET (ADJ. 1967)

BASIS OF BEARINGS

THE BEARING NORTH 15°12'42" WEST FOR THE CENTERLINE OF JOHNSON DRIVE AS SHOWN ON PARCEL MAP NO. 7070, FILED IN BOOK 229, PAGES 1-5 OF PARCEL MAPS, RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SITE AREA

PROPOSED PARCEL CONTAINS APPROXIMATELY: 45,042 SQ. FT. OR 1.034 AC.

DISTURBED AREA

APPROXIMATELY: 50,965 SQ. FT. OR 1.17 AC.

LEGEND

AB = AGGREGATE BASE
AC = ASPHALT CONCRETE
BLK = CONCRETE BLOCK
BS = BACK OF SIDEWALK
CB = CATCH BASIN
CF = CURB FACE
CL = CENTERLINE
CLF = CHAIN LINK FENCE
CO = CLEANOUT
DCV = DETECTOR CHECK VALVE
DS = ROOF DOWNSPOUT
EG = EDGE OF CUTTER
EP = EDGE OF PAVEMENT
FD = FOUND
FDC = FIRE DEPT. CONNECTION
FF = FINISHED FLOOR
FG = FINISHED GRADE
FH = FIRE HYDRANT
FL = FLOW LINE
FS = FINISHED SURFACE
GB = GRADE BREAK
GM = GAS METER
GR = TOP OF GRATE
GV = GAS VALVE
HP = HIGH POINT
HT = HEIGHT
ICV = IRRIGATION CONTROL VALVE
IP = IRON PIPE
LS = LIGHT STANDARD
L&T = LEAD & TAG
MH = MANHOLE
NG = NATURAL GROUND
N&T = NAIL & TAG
OHW = OVERHEAD WIRE
PB = PULL BOX
PCC = CONCRETE
PIV = POST INDICATOR VALVE
PL = PROPERTY LINE
RD = ROOF DRAIN
RWH = REDWOOD HEADER
SCB = SIGNAL CONTROL BOX
SMH = SEWER MANHOLE
SPK = SPIKE
SW = SIDEWALK
TC = TOP OF CURB
TE = TRASH ENCLOSURE
TP = TELEPHONE POLE
TRAN = TRANSITION
TRANS = TRANSFORMER

TRW = TOP OF RETAINING WALL
TW = TOP OF WALL
UG = UNDERGROUND
UP = UTILITY POLE
VAR = VARIABLE
W = WASHER
WDF = WOOD FENCE
WM = WATER METER
WV = WATER VALVE
N. = NORTH
S. = SOUTH
E. = EAST
W. = WEST
NLY = NORTHERLY
S'LY = SOUTHERLY
E'LY = EASTERLY
W'LY = WESTERLY
N/O = NORTH OF
S/O = SOUTH OF
E/O = EAST OF
W/O = WEST OF
P = PROPERTY LINE
C = CENTERLINE
R/W = RIGHT OF WAY
Δ = DELTA
R = RADIUS
L = LENGTH
T = TANGENT
M = MEASURED DATA
C = CALCULATED DATA
(RAD) = RADIAL BEARING
PRO = PROPORTIONATE MEASUREMENT
(210.00' R) = RECORD DATA
210.00' M. = MEASURED DATA
210.00' PRO. = PRORATED DATA
210.00' C. = CALCULATED DATA
427.00 TC = EXISTING ELEVATION
427.00 TC = DESIGN ELEVATION

SYMBOLS

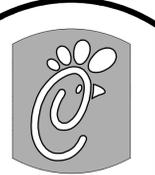
○ FIRE HYDRANT
○ STREET LIGHT
○ TRAFFIC SIGNAL
○ TRAFFIC SIGNAL ARM & POLE
★ LIGHT STANDARD
○ UTILITY POLE
○ GUY WIRE & ANCHOR
○ WATER METER
○ GAS METER
○ WATER VALVE
○ GAS VALVE
○ PULL BOX
○ GRATE INLET
○ SIGN
○ VENT
○ SEWER MANHOLE
○ STORM DRAIN MANHOLE
○ TELEPHONE MANHOLE
○ MANHOLE
○ SEWER CLEANOUT
○ MONITORING WELL
○ HANDICAP PARKING STALL
○ LANDSCAPED AREA
○ PROTECT IN PLACE
○ REMOVE AND DISPOSE OFFSITE
○ RELOCATE
○ PLOTTABLE EASEMENT ITEM
No. PER TITLE REPORT
— (427.0) — EXIST. CONTOUR
— 427.0 — DESIGN CONTOUR

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE

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5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

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JOSEPH C. TRUXAW & ASSOCIATES, INC.

CivilEngineers and LandSurveyors

265 S. ANITA DRIVE, SUITE 111
ORANGE, CA 92668
(714) 935-0265
(714) 935-0106 (FAX)

STORE
Name
FSU S08A

PLEASANTON SQUARE
HOPYARD ROAD/ 580
PLEASANTON, CA

SHEET TITLE
TITLE SHEET

VERSION: 8.4
ISSUE DATE: 10-2013

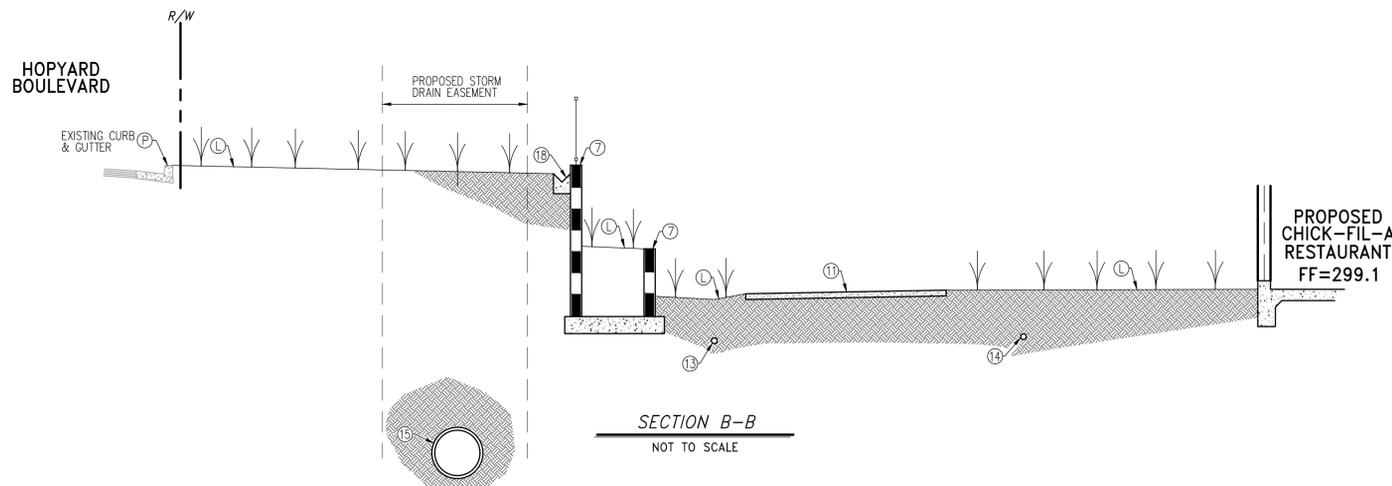
Job No. : 11-260
Store : 3207

Date : 04-22-14
Drawn By : RJD

Checked By : SMH

Sheet

1 of 4



SOURCE OF BOUNDARY & EASEMENT INFORMATION.

THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE TAKEN FROM THE PLAN REFERENCED BELOW.

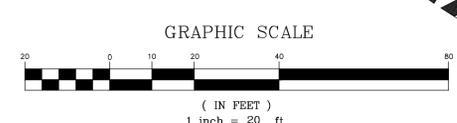
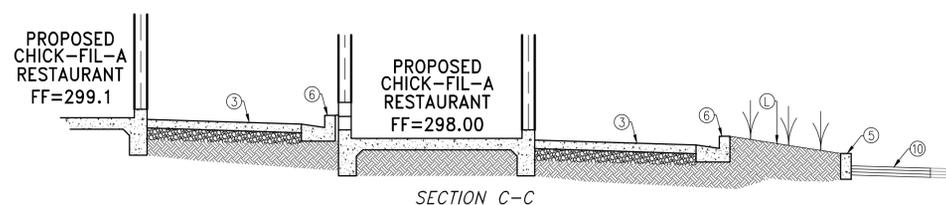
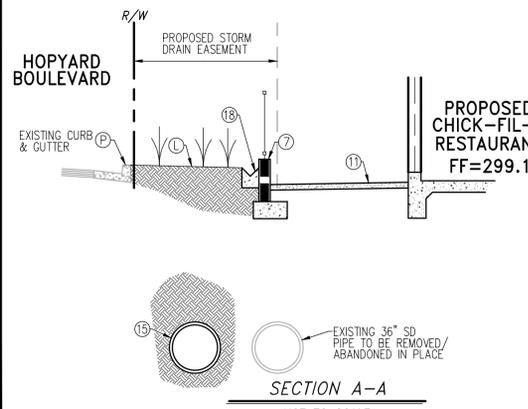
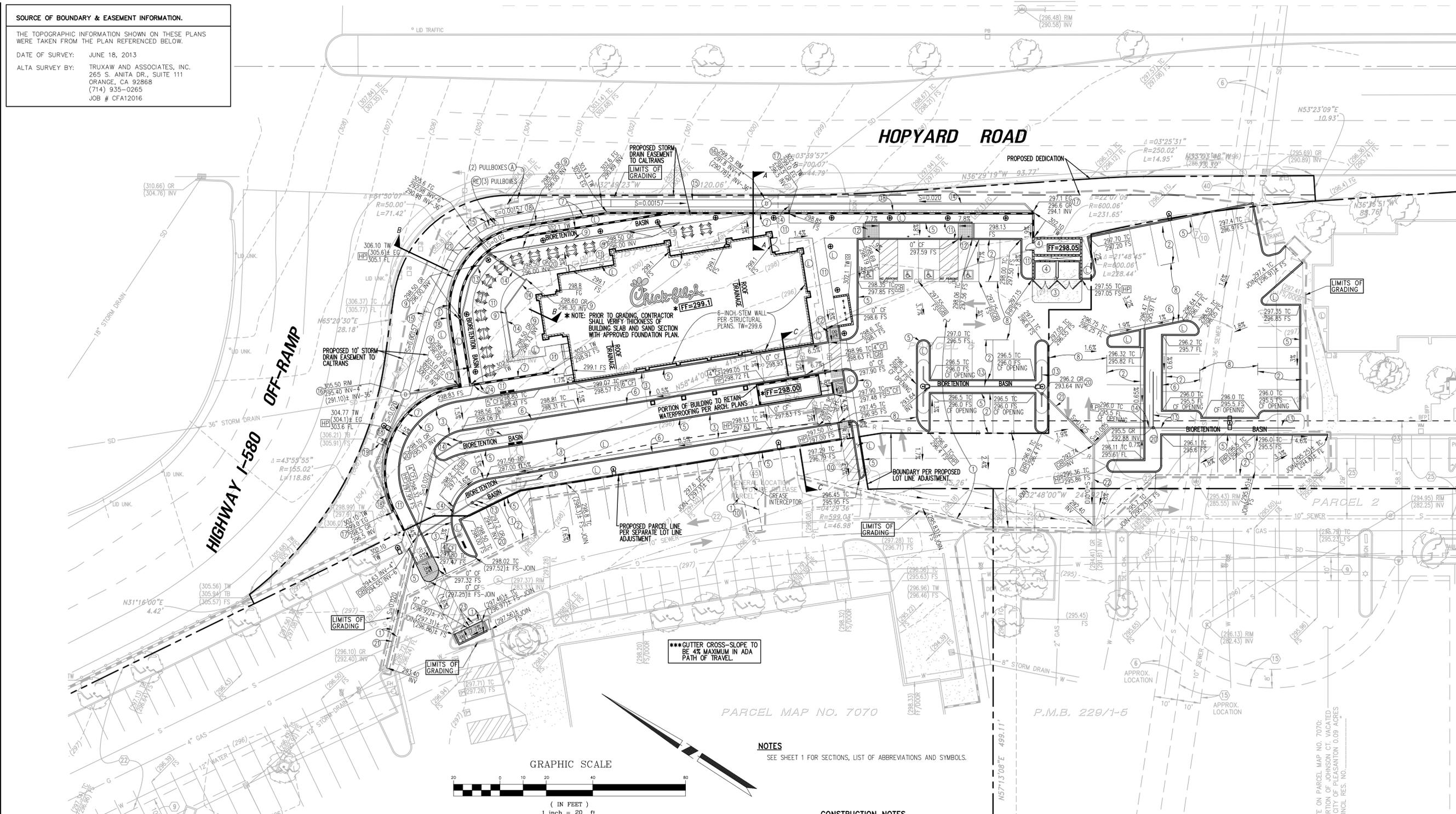
DATE OF SURVEY: JUNE 18, 2013

ALTA SURVEY BY: TRUXAW AND ASSOCIATES, INC.
265 S. ANITA DR., SUITE 111
ORANGE, CA 92668
(714) 935-0265
JOB # CFA12016

SOURCE OF BOUNDARY & EASEMENT INFORMATION.

THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE TAKEN FROM THE PLAN REFERENCED BELOW.

DATE OF SURVEY: JUNE 18, 2013
 ALTA SURVEY BY: TRUXAW AND ASSOCIATES, INC.
 265 S. ANITA DR., SUITE 111
 ORANGE, CA 92668
 (714) 935-0265
 JOB # CFA12016



NOTES
 SEE SHEET 1 FOR SECTIONS, LIST OF ABBREVIATIONS AND SYMBOLS.

NOTE:
 SEE SEPARATE ALTA/ASCM SURVEY FOR EASEMENT, BOUNDARY, EXISTING UNDERGROUND UTILITY, EXISTING DEVELOPMENT INFORMATION AND LIST OF ABBREVIATIONS & SYMBOLS PREPARED BY TRUXAW & ASSOCIATES, INC., DATED .

- CONSTRUCTION NOTES**
- 1 SAWOUT AND REMOVE EXISTING CONCRETE SIDEWALK, CURB AND GUTTER, AC PAVEMENT, ETC.
 - 2 PAVE WITH 3-INCH AC OVER 7-INCH AB OVER COMPACTED SUBGRADE (PARKING STALLS).
 - 3 PAVE WITH 7-INCH PCC OVER 4-INCH AB OVER COMPACTED SUBGRADE (DRIVE THRU).
 - 4 TRASH ENCLOSURE AND CONCRETE APRON PER ARCHITECTURAL DETAILS (UNDER SEPARATE PLAN CHECK AND PERMIT).
 - 5 CONSTRUCT CONCRETE CURB. (6-INCH CURB FACE UNLESS NOTED OTHERWISE ON PLAN)
 - 6 CONSTRUCT CONCRETE CURB AND GUTTER. (6-INCH CURB FACE UNLESS NOTED OTHERWISE ON PLAN)
 - 7 RETAINING/SCREEN WALL WITH RAILING ATOP PER SEPARATE STRUCTURAL PLANS. (UNDER SEPARATE PLAN CHECK AND PERMIT)
 - 8 PAVE WITH 3-INCH AC OVER 10-INCH AB OVER COMPACTED SUBGRADE. (DRIVE AREA)
 - 9 INSTALL 6-INCH ROUND NDS ATRIUM GRATE WITH ADAPTER AND 4-INCH PVC RISER PIPE.
 - 10 PATCH WITH FULL DEPTH AC PAVEMENT TO DEPTH MATCHING EXISTING SUBGRADE DEPTH (6-INCH MINIMUM THICKNESS)
 - 11 CONSTRUCT CONCRETE SIDEWALK.
 - 12 CONSTRUCT CONCRETE CURB RAMP WITH TRUNCATED DOMES.
 - 13 PLACE 4-INCH SDR-35 SLOTTED PVC STORM DRAIN PIPE PER MANUFACTURER'S SPECIFICATIONS. INCLUDE ALL NECESSARY FITTINGS AND BENDS. PIPE BEDDING AND BACKFILL PER CITY REQUIREMENTS.

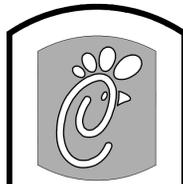
- 14 PLACE 4-INCH SDR-35 PVC STORM DRAIN PIPE PER MANUFACTURER'S SPECIFICATIONS. INCLUDE ALL NECESSARY FITTINGS AND BENDS. PIPE BEDDING AND BACKFILL PER CITY REQUIREMENTS. CORE-DRILL EXISTING CATCH BASIN WHERE SHOWN PER CITY REQUIREMENTS.
- 15 PLACE 36-INCH RCP STORM DRAIN PIPE PER MANUFACTURER'S SPECIFICATIONS. INCLUDE 4-FOOT BEVELED SECTIONS FOR STORM DRAIN ALIGNMENT. PIPE BEDDING AND BACKFILL PER CITY REQUIREMENTS.
- 16 CONSTRUCT STORM DRAIN MANHOLE PER CITY OF PLEASANTON STD. 203.
- 17 INSTALL NDS 6-INCH SQUARE GRATE WITH ADAPTER AND 4-INCH PVC RISER PIPE.
- 18 CONSTRUCT CONCRETE V-DITCH AT BACK OF RETAINING WALL.
- 19 CONSTRUCT AC PAVEMENT V-GUTTER. MATCH EXISTING IN KIND.
- 20 CONSTRUCT 12-INCH SQUARE CONCRETE CATCH BASIN.
- 21 PLACE 6-INCH SDR-35 PVC STORM DRAIN PIPE PER MANUFACTURER'S SPECIFICATIONS. INCLUDE ALL NECESSARY FITTINGS AND BENDS. PIPE BEDDING AND BACKFILL PER CITY REQUIREMENTS.
- 22 PLACE 8-INCH SDR-35 PVC STORM DRAIN PIPE PER MANUFACTURER'S SPECIFICATIONS. INCLUDE ALL NECESSARY FITTINGS AND BENDS. PIPE BEDDING AND BACKFILL PER CITY REQUIREMENTS. CORE-DRILL EXISTING CATCH BASIN WHERE SHOWN PER CITY REQUIREMENTS.
- 23 PATCH WITH FULL-DEPTH AC PAVEMENT. (6-INCH MINIMUM THICKNESS)
- 24 3-INCH X 12.5-INCH RECTANGULAR CAST IRON PIPE (ALHAMBRA FOUNDRY A-470) THROUGH BLOCK WALL AT FINISHED SURFACE FOR DRAINAGE.

***PAVEMENT DESIGN SECTIONS PER THE RECOMMENDATIONS OF THE SOILS ENGINEER.

THIS PLAN IS:
PRELIMINARY
 (NOT FOR CONSTRUCTION)

NOTICE TO CONTRACTOR
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 (714) 935-0106 (FAX)

STORE Name
 FSU S08A

PLEASANTON SQUARE
 HPOYARD ROAD/ 580
 PLEASANTON, CA

SHEET TITLE
 CONCEPTUAL
 GRADING PLAN

VERSION: 8.4
 ISSUE DATE: 10-2013

Job No. : 11-260
 Store : 3207
 Date : 04-22-14
 Drawn By : RJJ
 Checked By : SMH

Sheet
 2 of 4

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Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

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JOSEPH C. TRUXAW
& ASSOCIATES, INC.

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STORE

Name
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PLEASANT SQUARE
HPOYARD ROAD/ 580
PLEASANTON, CA

SHEET TITLE
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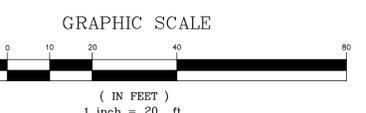
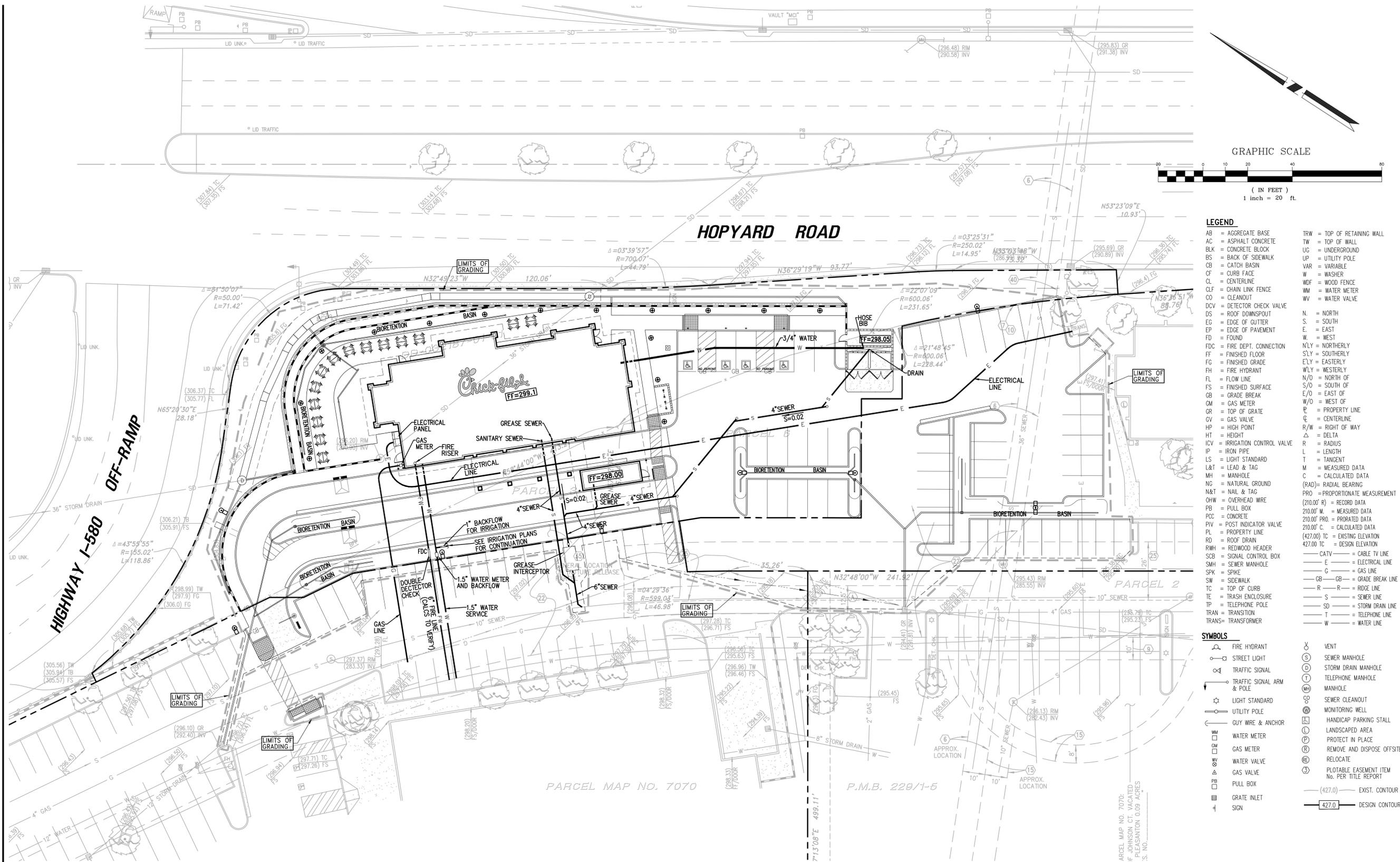
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Sheet

3 of 4



- LEGEND**
- | | |
|--------------------------------|----------------------------------|
| AB = AGGREGATE BASE | TRW = TOP OF RETAINING WALL |
| AC = ASPHALT CONCRETE | TW = TOP OF WALL |
| BLK = CONCRETE BLOCK | UG = UNDERGROUND |
| BS = BACK OF SIDEWALK | UP = UTILITY POLE |
| CB = CATCH BASIN | VAR = VARIABLE |
| CF = CURB FACE | W = WASHER |
| CL = CENTERLINE | WDF = WOOD FENCE |
| CLF = CHAIN LINK FENCE | WM = WATER METER |
| CO = CLEANOUT | WV = WATER VALVE |
| DCV = DETECTOR CHECK VALVE | N = NORTH |
| DS = ROOF DOWNSPOUT | S = SOUTH |
| EP = EDGE OF CUTTER | E = EAST |
| EC = EDGE OF PAVEMENT | W = WEST |
| FD = FOUND | NLY = NORTHERLY |
| FDC = FIRE DEPT. CONNECTION | SLY = SOUTHERLY |
| FF = FINISHED FLOOR | FG = FINISHED GRADE |
| FG = FINISHED GRADE | FH = FIRE HYDRANT |
| FL = FLOW LINE | N/O = NORTH OF |
| FS = FINISHED SURFACE | S/O = SOUTH OF |
| GB = GRADE BREAK | E/O = EAST OF |
| GM = GAS METER | W/O = WEST OF |
| GR = TOP OF GRATE | P = PROPERTY LINE |
| GV = GAS VALVE | C = CENTERLINE |
| HP = HIGH POINT | R/W = RIGHT OF WAY |
| HT = HEIGHT | Δ = DELTA |
| ICV = IRRIGATION CONTROL VALVE | R = RADIUS |
| IP = IRON PIPE | L = LENGTH |
| LS = LIGHT STANDARD | T = TANGENT |
| L&T = LEAD & TAG | M = MEASURED DATA |
| MH = MANHOLE | C = CALCULATED DATA |
| NG = NATURAL GROUND | (RAD) = RADIAL BEARING |
| N&T = NAIL & TAG | PRO = PROPORTIONATE MEASUREMENT |
| OHW = OVERHEAD WIRE | (210.00' R) = RECORD DATA |
| PB = PULL BOX | 210.00' M = MEASURED DATA |
| PCC = CONCRETE | 210.00' PRO = PRORATED DATA |
| PIV = POST INDICATOR VALVE | 210.00' C = CALCULATED DATA |
| PL = PROPERTY LINE | (427.00) TC = EXISTING ELEVATION |
| RD = ROOF DRAIN | 427.00 TC = DESIGN ELEVATION |
| RWH = REDWOOD HEADER | CATV = CABLE TV LINE |
| SCB = SIGNAL CONTROL BOX | E = ELECTRICAL LINE |
| SMH = SEWER MANHOLE | G = GAS LINE |
| SPK = SPIKE | GB = GRADE BREAK LINE |
| SW = SIDEWALK | R = RIDGE LINE |
| TC = TOP OF CURB | S = SEWER LINE |
| TE = TRASH ENCLOSURE | SD = STORM DRAIN LINE |
| TP = TELEPHONE POLE | T = TELEPHONE LINE |
| TRAN = TRANSITION | W = WATER LINE |

THIS PLAN IS:
PRELIMINARY
(NOT FOR CONSTRUCTION)

SOURCE OF BOUNDARY & EASEMENT INFORMATION.

THE TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WERE TAKEN FROM THE PLAN REFERENCED BELOW.

DATE OF SURVEY: JUNE 18, 2013

ALTA SURVEY BY: TRUXAW AND ASSOCIATES, INC.
265 S. ANITA DR., SUITE 111
ORANGE, CA 92668
(714) 935-0265
JOB # CFA12016

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE

Section 4216/4217 of the Government Code requires a Dig Alert Identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert I.D. Number call Underground Service Alert TOLL FREE 1-800-422-4133 Two working days before you dig.

TITLE REPORT

THIS SURVEY AND EASEMENTS SHOWN HEREON ARE BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT PREPARED BY: FIRST AMERICAN TITLE INSURANCE COMPANY 5301 JULES WALKER DRIVE, SUITE 110 ORANGE, CALIFORNIA 92668 (949) 400-2125 POLICY/FILE NUMBER: NS-5547829-50 COMMAND DATE: FEBRUARY 13, 2013 UPDATE: MARCH 8, 2013 THE OFFICER: FRANK SHIP SANITY / TRACY BROWN

LEGAL DESCRIPTION (PER TITLE REPORT)

REAL PROPERTY IN THE CITY OF PLEASANTON, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL ONE:
PARCELS 3 AND 6, PARCEL MAP 7070, FILED DECEMBER 13, 1996, MAP BOOK 229, PAGE 1, ALAMEDA COUNTY RECORDS.

EXCEPTING THEREFROM ALL GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER OR THAT MAY BE PRODUCED FROM A DEPTH BELOW 500 FEET FROM THE SURFACE OF SAID LAND WITHOUT RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND FOR THE PURPOSE OF MINING, DRILLING, EXPLORING OR EXTRACTING SUCH OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES OR TO A DEPTH OF 500 FEET BELOW THE SURFACE THEREOF AS RESERVED IN THE DEED FROM VOLK LAND COMMUNITIES, INC. TO QUALIFIED INVESTMENTS, INC., DATED JUNE 25, 1967 RECORDED JUNE 27, 1967 IN REEL 1988, MAKE 207, ALAMEDA COUNTY RECORDS, OFFICIAL RECORDS.

PARCEL TWO:
A NON-EXCLUSIVE EASEMENT APPURTENANT TO PARCEL ONE AND INCIDENTS THERETO FOR THE CONSTRUCTION, RECONSTRUCTION, REPAIR, MAINTENANCE, ENLARGEMENT AND OPERATION OF A ROADWAY AND EGRESS AND EGRESS THEREFROM AND FOR PUBLIC UTILITIES ON THE TRAIL AND CONDITIONS CONTAINED IN THE DECLARATION OF EGRESS APPURTENANT EASEMENT AND MAINTENANCE AGREEMENT RECORDED DECEMBER 13, 1996, MAP BOOK 229, PAGE 1, OFFICIAL RECORDS, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

A PORTION OF PARCELS 2, 3 AND 6 AS SHOWN ON PARCEL MAP NUMBER 7070 RECORDED DECEMBER 13, 1996 IN BOOK 229 OF PARCEL MAPS AT PAGES 1 THROUGH 6 DESCRIBED AS FOLLOWS:
A 26 FOOT WIDE STRIP OF LAND MEASURED 13 FEET EASTERNLY AND 13 FEET WESTERNLY MEASURED AT RIGHT ANGLES OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE MOST EASTERLY CORNER OF PARCEL 2, COMMON WITH THE BOUNDARY CORNER OF PARCEL 6 OF SAID PARCEL MAP NUMBER 7070; THENCE ALONG THE BOUNDARY LINE COMMON TO SAID PARCELS 2 AND 6 NORTH 37° 48' 00" WEST 206.66 FEET TO THE SOUTHEAST CORNER OF PARCEL 3 OF SAID PARCEL MAP NUMBER 7070; THENCE CONTINUING ALONG THE BOUNDARY LINE COMMON WITH SAID PARCELS 3 AND 6 WESTERLY WITH AN ANGLE OF 59.03 FEET TO THE NORTHWESTERLY SOUTHWESTERLY CORNER OF PARCEL 6 COMMON TO SAID PARCELS 6 AND 3; 46.98 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04° 29' 36" TO THE NORTHWEST CORNER OF SAID PARCEL 6.

THE NORTHERLY TERMINUS OF SAID 26 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED TO THE NORTHERLY BOUNDARY OF SAID PARCEL 6 AND ITS SOUTHWESTERLY EXTENSION, THE SOUTHERLY TERMINUS OF SAID 26 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED TO THE SOUTHEASTERN BOUNDARY OF SAID PARCEL 2 AND ITS NORTHWESTERLY EXTENSION.
NOTE: THE SEPARATE SALE OR CONVEYANCE OF PARCELS 3, PARCEL MAP 7070 WILL INCLUDE A RESERVATION OF THE PARCEL TWO EASEMENT DESCRIBED ABOVE.

PARCEL THREE:

A NON-EXCLUSIVE EASEMENT APPURTENANT TO PARCEL ONE AND INCIDENTS THERETO FOR THE CONSTRUCTION, RECONSTRUCTION, REPAIR, MAINTENANCE, ENLARGEMENT AND OPERATION OF A ROADWAY AND EGRESS AND EGRESS THEREFROM AND FOR PUBLIC UTILITIES ON THE TRAIL AND CONDITIONS CONTAINED IN THE DECLARATION OF EGRESS APPURTENANT EASEMENT AND MAINTENANCE AGREEMENT RECORDED AUGUST 13, 1997, SERIES NO. 9720449 OFFICIAL RECORDS, OVER AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

A PORTION OF PARCEL 2 AS SHOWN ON PARCEL MAP 7070 RECORDED DECEMBER 13, 1996 IN BOOK 229 OF MAPS AT PAGES 1 THROUGH 5 IN THE OFFICE OF THE RECORDER, COUNTY OF ALAMEDA, STATE OF CALIFORNIA.
NOTE:
SAID PARCEL IS NOT LOCATED IN THE CHICK-RI-A SURVEY AREA. THE APPROXIMATE LOCATION OF SAID ITEM IS SHOWN HEREON. ITEM IS ALSO REFERENCED IN EASEMENT NOTES AS EXCEPTION ITEM NO. 21, LISTED HEREON.

PARCEL FOUR:

THE FOLLOWING NON-EXCLUSIVE EASEMENTS APPURTENANT TO PARCEL ONE HEREON FROM THE TERMS, CONDITIONS AND PROVISIONS CONTAINED IN ARTICLE VI OF THAT INSTRUMENT RECORDED DECEMBER 13, 1996, MAP BOOK 229, PAGE 1, OFFICIAL RECORDS AND RESERVATION OF EASEMENTS RECORDED DECEMBER 13, 1996, SERIES NO. 96-316771, OFFICIAL RECORDS OF ALAMEDA COUNTY, SUBJECT TO THE RESTRICTIONS ON EASEMENTS SET FORTH IN SECTION 6.04 OF SAID ARTICLE VI IN SAID INSTRUMENT:

A. A NON-EXCLUSIVE EASEMENT FOR THE PASSAGE OF VEHICLES AND FOR THE PASSAGE AND ACCOMMODATION OF FOOTSTEPS AS SET FORTH IN SECTION 6.01 OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS UTILITY AREAS AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEPICED ON THE SITE PLAN (EXHIBIT B) ATTACHED HERETO; AND

B. A NON-EXCLUSIVE EASEMENT FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, REMOVAL, REPLACEMENT AND OPERATION OF UTILITIES AS DEMONSTRATED AND SET FORTH IN SECTION 6.01(A) OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS UTILITY AREAS AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEPICED ON THE SITE PLAN (EXHIBIT B) ATTACHED HERETO; AND

C. A NON-EXCLUSIVE EASEMENT FOR THE PASSAGE OF WATER INCLUDING, BUT NOT LIMITED TO, EGRESS FROM WATER AS SET FORTH IN SECTION 6.02(B) OF SAID ARTICLE VI OVER AND ACROSS, TO THE EXTENT NECESSARY TO ACCOMMODATE THE GENERAL DRAINAGE PLAN APPROVED BY THE CITY OF PLEASANTON AND/OR OTHER GOVERNMENT AUTHORITIES, ALL OF PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS; AND

D. A NON-EXCLUSIVE EASEMENT AND MUTUAL RIGHT TO PARK VEHICLES AS SET FORTH IN SECTION 6.03(B) OF SAID ARTICLE VI OVER AND ACROSS THOSE PORTIONS OF PARCELS 3 AND 4, PARCEL MAP 7070 FILED DECEMBER 13, 1996, MAP BOOK 229, PAGES 1 THROUGH 5, ALAMEDA COUNTY RECORDS, DESIGNATED AS PARKING AREAS, AS SAID AREAS ARE DESCRIBED IN SAID INSTRUMENT AND ARE SHOWN AND DEPICED ON THE SITE PLAN (EXHIBIT B) ATTACHED HERETO;
NOTE: **DRAINAGE, PARKING AND DRIVE ACCESS EASEMENT THROUGH SHOPPING CENTER NOT SHOWN HEREON. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.**

PARCEL FIVE:
A PORTION OF PARCEL 1 DESCRIBED IN GRANT DEED NUMBER 37487, TO THE STATE OF CALIFORNIA, RECORDED APRIL 19, 1967 IN REEL 1950, MAKE 100 OF OFFICIAL RECORDS OF ALAMEDA COUNTY, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWESTERLY TERMINUS OF THAT CORNER DESCRIBED AS "SOUTH 36° 36' 51" EAST 119.15 FEET IN THE EXCEPTION FROM PARCEL 1 IN SAID GRANT DEED, THENCE ALONG SAID COURSE, NORTH 36° 36' 51" WEST, 117.78 FEET TO THE POINT OF BEGINNING, THENCE NORTH 53° 23' 00" EAST, 10.33 FEET, THENCE NORTH 33° 03' 48" WEST, 73.31 FEET TO A 250.00 FOOT RADUS CURVE TO THE LEFT TO WHICH A RADIAL BEARS NORTH 36° 36' 12" EAST, THENCE ALONG SAID CURVE, 150.00 FEET TO A POINT OF BEGINNING, THENCE NORTH 36° 36' 29' 19" WEST, 93.76 FEET TO A 700.00 FOOT RADUS

CURVE TO THE RIGHT TO WHICH A RADIAL BEARS SOUTH 53° 30' 41" WEST, THENCE ALONG THE ARC OF SAID CURVE 44.79 FEET THROUGH A CENTRAL ANGLE OF 3° 39' 57", THENCE ALONG SAID COURSE, NORTH 36° 36' 29' 19" WEST, 93.76 FEET TO THE LEFT TO WHICH A RADIAL BEARS SOUTH 57° 10' 37' EAST, THENCE ALONG THE ARC OF SAID CURVE 71.41 FEET THROUGH A CENTRAL ANGLE OF 81° 50' 17" THENCE ALONG SAID CURVE, 150.00 FEET TO A POINT OF BEGINNING, THENCE SOUTH 57° 10' 37' EAST, THENCE ALONG SAID CURVE 118.85 FEET THROUGH A CENTRAL ANGLE OF 4° 55' 55"; THENCE SOUTH 31° 16' 00" WEST, 4.42 FEET TO THE NORTHWESTERLY LINE OF SAID EXCEPTION OF SAID EXCEPTION, THENCE ALONG SAID LINE SOUTH 38° 44' 44" WEST, 117.16 FEET TO A POINT OF BEGINNING, THENCE SOUTH 38° 44' 44" WEST, 117.16 FEET TO THE POINT OF BEGINNING, THENCE SOUTH 36° 36' 29' 19" WEST, 93.76 FEET TO THE POINT OF BEGINNING.

DISTANCES SHOWN ABOVE ARE OF COURTESY PARCEL 1. DISTANCES MUST BE OBTAINED FROM GRID TO GROUND AS SHOWN ON SHEETS 2 AND 3 OF THIS REPORT. THE CLIENT SHOULD VERIFY THE SCOPE OF WORK LIMITS OF THIS SURVEY. THE CLIENT SHOULD VERIFY THE SCOPE OF WORK LIMITS OF THIS SURVEY.
EASEMENT NOTES:
REFER TO TITLE REPORT FOR ADDITIONAL INFORMATION AND DETAILS.

1-3 ITEMS THAT DEAL WITH TAXES.
4 WATER RIGHTS CONVEYED TO THE CITY AND COUNTY OF SAN FRANCISCO, UPON MARCH 30, 1930 IN BOOK 2350, PAGE 1, OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.

5 AN EASEMENT FOR GRADING, DRAINAGE OR PERFORMING OPERATIONS IN ORDER TO PROVIDE FOR FUTURE GRADING OF REVISION AND INCIDENTAL PROGRESS, RECORDED OCTOBER 23, 1941 AS BOOK 4102, PAGE 425 OF OFFICIAL RECORDS.
IN FAVOR OF: PACIFIC TELEPHONE AND TELEGRAPH COMPANY, A CORPORATION, AS DESCRIBED HEREIN.

6 AN EASEMENT FOR PRELIE AND INCIDENTAL PURPOSES, RECORDED APRIL 19, 1945 AS BOOK 4793, PAGE 139 OF OFFICIAL RECORDS.
NOTE: NOT PLOTTABLE PER TITLE COMPANY'S EASEMENT PLOT EXHIBIT.

7 ADJUTER'S RIGHTS OF EGRESS AND EGRESS TO OR FROM FREEWAY HAVE BEEN RESTORED TO EFFECT. RECORDED APRIL 19, 1997 AS BOOK 1950, INSTRUMENT NO. 97-020884, 91-020882 AND 91-020883 OF OFFICIAL RECORDS.
NOTE: APPROXIMATE LOCATION SHOWN PER PARCEL MAP NO. 7070, PHB 229/1-5.

8 A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF A CONTROLLED FREEWAY, HIGHWAY, ROADWAY OR TRAVEL FACILITY AS CONTAINED IN THE DOCUMENT RECORDED APRIL 19, 1997 AS BOOK 1950, PAGE 100 OF OFFICIAL RECORDS.
AN EASEMENT FOR WATER PUMPING AND INCIDENTAL PURPOSES, RECORDED JUNE 19, 1967 AS BOOK 1963, PAGE 852 OF OFFICIAL RECORDS.
IN FAVOR OF: VALLEY COMMUNITY SERVICES DISTRICT AS DESCRIBED HEREIN.

9 A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF A CONTROLLED FREEWAY, HIGHWAY, ROADWAY OR TRAVEL FACILITY AS CONTAINED IN THE DOCUMENT RECORDED APRIL 19, 1997 AS BOOK 1950, PAGE 100 OF OFFICIAL RECORDS.
AN EASEMENT FOR WATER PUMPING AND INCIDENTAL PURPOSES, RECORDED JUNE 19, 1967 AS BOOK 1963, PAGE 852 OF OFFICIAL RECORDS.
IN FAVOR OF: VALLEY COMMUNITY SERVICES DISTRICT AS DESCRIBED HEREIN.

10 REPERATIONAL BUILDING RESTRICTIONS WITH EXPRESS PROVISION FOR ACQUISITION OF THE PROPERTY BY THE STATE OF CALIFORNIA THROUGH A QUALIFIED INVESTMENTS, INC., A CALIFORNIA CORPORATION, TO HUNBLE OIL & REFINING COMPANY, A DELAWARE CORPORATION, DATED AUGUST 31, 1967 AND RECORDED NOVEMBER 22, 1967, SERIES NO. A272076, BOOK 2079, PAGE 576 OF OFFICIAL RECORDS OF ALAMEDA COUNTY.
NOTE: SAID DOCUMENT AMONG OTHER ITEMS, REFERS TO ACCESS RESTRICTIONS TO A PORTION OF THE BELMONTED BROTHER'S RIGHTS MUST BE RESTORED TO PROVIDE ACCESS TO "TARBEL FIVE."

11 AN EASEMENT FOR UNDERGROUND AND ABOVE GROUND ELECTRICAL FACILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 01, 1979 AS INSTRUMENT NO. 79-22070 OF OFFICIAL RECORDS.
IN FAVOR OF: PACIFIC GAS & ELECTRIC COMPANY, ET AL. AS DESCRIBED HEREIN.

12 THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION. (AFFECTS A PORTION OF PARCEL 6)
NOTE: SAID DOCUMENT'S LOCATION IS AROUND FACILITY LOCATIONS. EASEMENT CANNOT BE PLOTTED FROM RECORD INFORMATION AND IS NOT SHOWN HEREON.

13 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT FOR DEVELOPMENT" RECORDED DECEMBER 23, 1991 AS INSTRUMENT NO. 91-23103 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS A DEVELOPMENT AGREEMENT WITH THE CITY OF PLEASANTON. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

14 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSIGNMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED JANUARY 28, 1982 AS INSTRUMENT NO. 82-013199 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFER OR RENDER INVALID THE BENEFIT OF THE RESTRICTIONS OR PORTION OF THE RESTRICTIONS INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, DISABILITY, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN OR SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODE SECTION 54960.1) TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. §8604D OR CALIFORNIA GOVERNMENT CODE §129265. LAMUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSIDERED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
NOTE: YOU MAY WISH TO CONTACT THE HOMEOWNERS ASSOCIATION REFERRED TO IN THE ABOVE DOCUMENT FOR INFORMATION REGARDING ASSESSMENTS, TRANSFER REQUIREMENTS OR OTHER MATTERS.

NOTE: SAID DOCUMENT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.

15 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 18, 1997 AS INSTRUMENT NO. 9729498 OF OFFICIAL RECORDS, IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION, AS DESCRIBED HEREIN.
NOTE: THE EXACT LOCATION OF SAID EASEMENT IS NOT PLOTTABLE FROM THE RECORD INFORMATION AND NOT LOCATED IN THE PROPOSED CHICK-RI-A PARCEL.

16 ADJUTER'S RIGHTS OF EGRESS AND EGRESS TO OR FROM HOVARD ROAD AND FREEWAY HAVE BEEN RESTORED OR REINDEPOSITED ON THE MAP OF PARCEL MAP NO. 3674 ON FILE IN BOOK 137, PAGE 57, OF PARCEL MAPS.
NOTE: SAID PARCEL MAP NO. 3674 DOES NOT REFER TO ADJUTER'S RIGHTS TO HOVARD ROAD. THE CLIENT IS ADVISED TO CONTACT THE RECORDS OF THIS TITLE REPORT FOR MORE INFORMATION.

17 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MEMORANDUM OF AGREEMENT" RECORDED JUNE 01, 1983 AS INSTRUMENT NO. 83-093661 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS A DEVELOPMENT AGREEMENT WITH PGE. THE CITY OF PLEASANTON AND DEVELOPER. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

18 "MEMORANDUM OF AGREEMENT" RECORDED MARCH 05, 1984 AS INSTRUMENT NO. 84-42467 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS A WILL SERVE AGREEMENT WITH PGE. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

19 AN EASEMENT FOR ROAD, PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JUNE 16, 1986 AS INSTRUMENT NO. 86-44468 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF PLEASANTON, A MUNICIPAL CORPORATION AS DESCRIBED HEREIN.
NOTE: SAID ITEM IS NOT IN CHECK-RI-A PROPOSED PARCEL. NOT PLOTTED ON TITLE COMPANY'S EASEMENT PLOT EXHIBIT.

20 "MAINTENANCE OF AGREEMENT" RECORDED JUNE 16, 1986 AS INSTRUMENT NO. 86-44475 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS AN ACCESS EASEMENT MAINTENANCE AGREEMENT. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

21 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSIGNMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED DECEMBER 19, 1986 AS INSTRUMENT NO. 86-27080 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFER OR RENDER INVALID THE BENEFIT OF THE RESTRICTIONS OR PORTION OF THE RESTRICTIONS INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, DISABILITY, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN OR SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODE §129260.1) TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. §8604D OR CALIFORNIA GOVERNMENT CODE §129265. LAMUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSIDERED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
NOTE: YOU MAY WISH TO CONTACT THE HOMEOWNERS ASSOCIATION REFERRED TO IN THE ABOVE DOCUMENT FOR INFORMATION REGARDING ASSESSMENTS, TRANSFER REQUIREMENTS OR OTHER MATTERS.

22 AN EASEMENT FOR PUBLIC SERVICE AND INCIDENTAL PURPOSES, RECORDED JANUARY 29, 1991 AS INSTRUMENT NOS. 91-020884, 91-020882 AND 91-020883 OF OFFICIAL RECORDS.
IN FAVOR OF: CITY OF PLEASANTON, A MUNICIPAL CORPORATION AS DESCRIBED HEREIN.

23 AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF PARCEL MAP NO. 7070 RECORDED DECEMBER 13, 1996 ON FILE IN BOOK 229, PAGE 1, OF PARCEL MAPS FOR PUBLIC SERVICE AND INCIDENTAL PURPOSES.
COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSIGNMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED DECEMBER 13, 1996 AS INSTRUMENT NO. 96316771 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFER OR RENDER INVALID THE BENEFIT OF THE RESTRICTIONS OR PORTION OF THE RESTRICTIONS INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, DISABILITY, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN OR SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODE SECTION 54960.1) TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. §8604D OR CALIFORNIA GOVERNMENT CODE §129265. LAMUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSIDERED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
NOTE: YOU MAY WISH TO CONTACT THE HOMEOWNERS ASSOCIATION REFERRED TO IN THE ABOVE DOCUMENT FOR INFORMATION REGARDING ASSESSMENTS, TRANSFER REQUIREMENTS OR OTHER MATTERS.

24 DOCUMENT(S) DECLARING VOTER/CITIZENS REGISTRY RECORDED JANUARY 12, 1998 AS INSTRUMENT NOS. 98-020884, 91-020882 AND 91-020883 OF OFFICIAL RECORDS.
NOTE: SAID DOCUMENT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.

25 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION RESERVING DRIVEWAY EASEMENT AND MAINTENANCE AGREEMENT" RECORDED DECEMBER 13, 1996 AS INSTRUMENT NO. 96316772 OF OFFICIAL RECORDS.
AN UNRECORDED LEASE DATED AUGUST 14, 1986, EXECUTED BY DELTA, INC., A DELAWARE CORPORATION AS LESSEE, AND COMPIUSA MEMORANDUM OF LEASE RECORDED JANUARY 03, 1997 AS INSTRUMENT NO. 9707808 OF OFFICIAL RECORDS.
DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASHHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREIN.

26 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 18, 1997 AS INSTRUMENT NO. 9729498 OF OFFICIAL RECORDS, IN FAVOR OF: PACIFIC GAS AND ELECTRIC COMPANY, A CALIFORNIA CORPORATION, AS DESCRIBED HEREIN.
NOTE: THE EXACT LOCATION OF SAID EASEMENT IS NOT PLOTTABLE FROM THE RECORD INFORMATION AND NOT LOCATED IN THE PROPOSED CHICK-RI-A PARCEL.

27 THIS ITEM HAS BEEN INTENTIONALLY DELETED.
28 ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH HAVE BEEN IDENTIFIED BY THIS SURVEY SHALL BE SHOWN BY THIS SURVEY TO MATTERS) THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED. IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMITMENT, WE WILL REQUIRE A STATEMENT OF INFORMATION.

29 THIS ITEM HAS BEEN INTENTIONALLY DELETED.
30 ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH HAVE BEEN IDENTIFIED BY THIS SURVEY SHALL BE SHOWN BY THIS SURVEY TO MATTERS) THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED. IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMITMENT, WE WILL REQUIRE A STATEMENT OF INFORMATION.

31 ANY DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS WHICH HAVE BEEN IDENTIFIED BY THIS SURVEY SHALL BE SHOWN BY THIS SURVEY TO MATTERS) THE NAME SEARCH NECESSARY TO ASCERTAIN THE EXISTENCE OF SUCH MATTERS HAS NOT BEEN COMPLETED. IN ORDER TO COMPLETE THIS PRELIMINARY REPORT OR COMMITMENT, WE WILL REQUIRE A STATEMENT OF INFORMATION.

32 REFER TO THE ISSUANCE OF ANY POLICY OF TITLE INSURANCE. THE COMPANY WILL REQUIRE:
AN ALTA/ASOM SURVEY OF RECENT DATE WHICH COMPLIES WITH THE CURRENT MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ASOM LAND TITLE SURVEYS.
33 ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH WOULD BE DISCLOSED BY A CORRECT ALTA/ASOM SURVEY.
34 RIGHTS OF PARTIES IN POSSESSION.

35 TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED JANUARY 17, 2008, BY AND BETWEEN PLEASANTON SQUARE PARTNERS II, L.P., A CALIFORNIA LIMITED LIABILITY COMPANY AS LESSOR AND SMART & FINAL STORES LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE DATED JANUARY 23, 2008 AS INSTRUMENT NO. 2008019866 OF OFFICIAL RECORDS.
DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASHHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREIN.

A DOCUMENT RECORDED FEBRUARY 13, 2013 AS INSTRUMENT NO. 201306144 OF OFFICIAL RECORDS PROVIDES THAT THE ABOVE DOCUMENT WAS SUBORDINATED TO THE DOCUMENT RECORDED FEBRUARY 13, 2013 AS INSTRUMENT NO. 201306140 OF OFFICIAL RECORDS.
NOTE: GENERAL LOCATION OF RELEASE PARCEL SHOWN HEREON. AFFECT UNKNOWN. REFER TO SAID DOCUMENT FOR FULL PARTICULARS.

36 A DEED OF TRUST TO SECURE AN ORIGINAL UNDERDEPOSIT OF \$6,200,000.00 RECORDED FEBRUARY 13, 2013 AS INSTRUMENT NO. 201306140 OF OFFICIAL RECORDS.
DATED: FEBRUARY 12, 2013
FIRST AMERICAN TITLE INSURANCE COMPANY
TRUSTEE:
BENEDICTIONARY:
JOHN HARBOK LIFE INSURANCE COMPANY (U.S.A.), A MICHIGAN CORPORATION

A DOCUMENT ENTITLED "ASSIGNMENT OF LEASES AND RENTS" RECORDED FEBRUARY 13, 2013 AS INSTRUMENT NO. 201306141 OF OFFICIAL RECORDS, AS ADDITIONAL SECURITY FOR THE PAYMENT OF THE INTERDEBTNESS SECURED BY THE DEED OF TRUST.
AFFECTS: THE LAND AND OTHER PROPERTY.

THE FOLLOWING MATTERS AFFECT PARCEL FIVE:
37 GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2013-2014. A LIEU NOT YET DUE OR PAYABLE.
38 GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2012-2013. TAX MAY BE LEVIED.
39 THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 335 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
40 AN EASEMENT FOR PRELIE AND INCIDENTAL PURPOSES, RECORDED APRIL 19, 1945 AS BOOK 4793, PAGE 139 OF OFFICIAL RECORDS.
IN FAVOR OF: THE UNITED STATES OF AMERICA AS DESCRIBED HEREIN.

41 RIGHTS OF PARTIES IN POSSESSION.

PLOTTED ITEM BELOW IS NOT LISTED IN THE SUBJECT TITLE REPORT:
A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY, RECORDED ON JUNE 16, 1986 AS INSTRUMENT NO. 86-44468 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFER OR RENDER INVALID THE BENEFIT OF THE RESTRICTIONS OR PORTION OF THE RESTRICTIONS INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, DISABILITY, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN OR SOURCE OF INCOME (AS DEFINED IN CALIFORNIA GOVERNMENT CODE SECTION 54960.1) TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 U.S.C. §8604D OR CALIFORNIA GOVERNMENT CODE §129265. LAMUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSIDERED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
NOTE: SEE SEPARATE ALTA/ASOM SURVEY FOR EASEMENT, BOUNDARY, EXISTING UNDERGROUND UTILITY, EXISTING DEVELOPMENT INFORMATION AND LIST OF ABBREVIATIONS & SYMBOLS IDENTIFIED BY TROVAY & ASSOCIATES, INC., DATED .

BASIS OF BEARINGS:
THE BEARING NORTH 157°24' WEST FOR THE CENTERLINE OF JOHNSON DRIVE IS BASED ON THE BEARING NORTH 157°24' WEST FOR THE CENTERLINE OF JOHNSON DRIVE PARCEL MAPS RECORDS OF ALAMEDA COUNTY STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

NOTICE TO CONTRACTOR:
THE CONTRACTOR SHALL ASCERTAIN THE TRUE POSITION AND DEPTH OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE:
Section 4216/4217 of the Government Code requires a Big Alert Identification Number be issued before a "Temporary" or "Final" Utility Map is issued. For your Big Alert ID, Number call Underground Service Alert TOLL FREE 1-800-422-4133. Two working days before you dig.

THIS PLAN IS: PRELIMINARY (NOT FOR CONSTRUCTION!)

ISSUE DATE: 5-6-14
DRAWN BY: JSH
CHECKED BY: SMH
JOB NO: CFA12016
SHEET NO: 1
OF 3 SHEETS

TITLE SHEET / EASEMENT NOTES
PLEASANTON SQUARE
HOVARD ROAD AND 580
CITY OF PLEASANTON, STATE OF CALIFORNIA

Prepared by:
Joseph C. Truxaw and Associates, Inc.
265 S. Anita Dr., Suite 111, Orange, CA 92668 (714)935-0265 fax:(714)935-0106

NO.	REVISIONS	DATE

SHEET INDEX
1 TITLE SHEET / EASEMENT NOTES
2 LOT LINE ADJUSTMENT EXHIBIT
3 SITE PLAN EXHIBIT

PL01: G:\P\CF1A12016\01-3207-12016LLA.DWG 5/8/2014 9:15 AM

PL01: G:\P\CF1A12016\01-3207-12016LLA.DWG 5/8/2014 9:15 AM

CURVE	DELTA	RADIUS	LENGTH
C1	00°18'24"	600.06'	3.21'
C2	00°34'24"	56.00'	0.56'
C3	00°10'26"	380.00'	1.15'
C4	21°48'45"	600.06'	228.44'

LINE	BEARING	DISTANCE
L1	N36°36'51"W	1.37'
L2	N57°12'00"E	67.24'
L3	N57°12'00"E	29.00'
L4	N57°12'00"E	32.34'
L5	N32°48'00"W	18.23'
L6	N57°16'57"E	53.00'
L7	N32°49'23"W	120.06'
L8	N32°48'00"W	15.22'
L9	N58°44'00"W	24.43'
L10	N41°50'58"W	157.68'
L11	N32°43'03"W	71.78'
L12	N48°09'02"E	22.82'

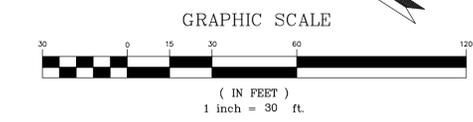
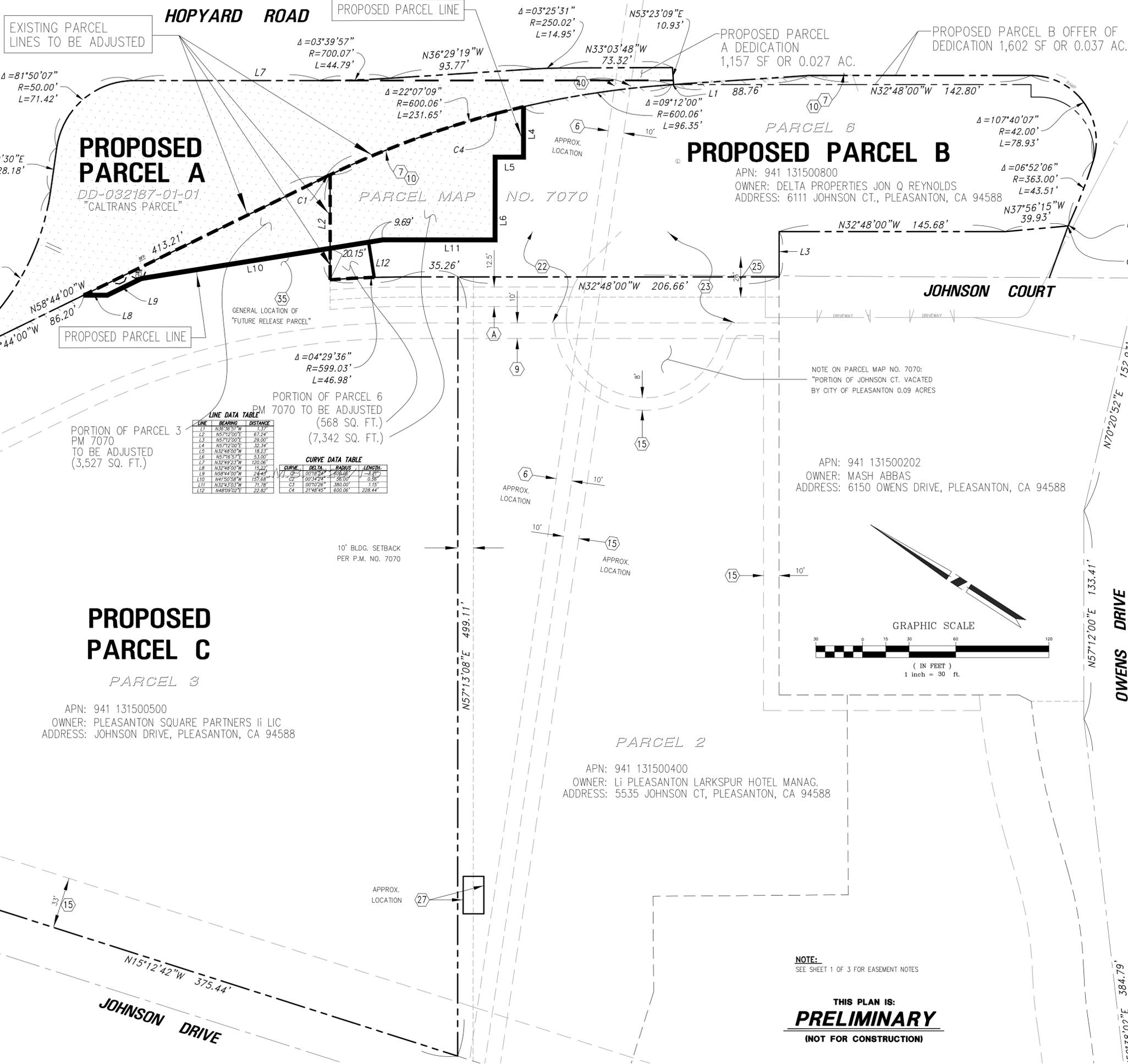
 = PROPOSED CHICK-FIL-A PARCEL AREA.

SITE AREAS (BEFORE ADJUSTMENT)
 EXISTING CALTRANS PARCEL (PROPOSED PARCEL A):
 CONTAINS APPROXIMATELY: 25,912 SQ. FT. OR 0.59 AC.
 EXISTING PARCEL 6 (PROPOSED PARCEL B):
 CONTAINS APPROXIMATELY: 50,530 SQ. FT. OR 1.16 AC.
 EXISTING PARCEL 3 (PROPOSED PARCEL C):
 CONTAINS APPROXIMATELY: 170,177 SQ. FT. OR 3.91 AC.

SITE AREAS (AFTER ADJUSTMENT)
 PROPOSED PARCEL A:
 CONTAINS APPROXIMATELY: 36,776 SQ. FT. OR 0.844 AC.
 PROPOSED PARCEL B:
 CONTAINS APPROXIMATELY: 42,620 SQ. FT. OR 0.978 AC.
 PROPOSED PARCEL C:
 CONTAINS APPROXIMATELY: 167,218 SQ. FT. OR 3.839 AC.

LINE	BEARING	DISTANCE
L1	N36°36'51"W	1.37'
L2	N57°12'00"E	67.24'
L3	N57°12'00"E	29.00'
L4	N57°12'00"E	32.34'
L5	N32°48'00"W	18.23'
L6	N57°16'57"E	53.00'
L7	N32°49'23"W	120.06'
L8	N32°48'00"W	15.22'
L9	N58°44'00"W	24.43'
L10	N41°50'58"W	157.68'
L11	N32°43'03"W	71.78'
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CURVE	DELTA	RADIUS	LENGTH
C1	00°18'24"	600.06'	3.21'
C2	00°34'24"	56.00'	0.56'
C3	00°10'26"	380.00'	1.15'
C4	21°48'45"	600.06'	228.44'



NOTE:
 SEE SHEET 1 OF 3 FOR EASEMENT NOTES

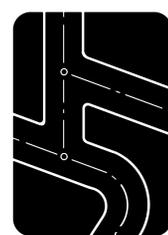
THIS PLAN IS:
PRELIMINARY
 (NOT FOR CONSTRUCTION)

NOTICE TO CONTRACTOR
 THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE
 Section 4216/4217 of the Government Code requires a Dig Alert Identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert I.D. Number call Underground Service Alert TOLL FREE 1-800-422-4133 Two working days before you dig.

NO.	REVISIONS	DATE

Prepared by:
Joseph C. Truxaw and Associates, Inc.
 Civil Engineers and Land Surveyors
 265 S. Anita Dr., Suite 111, Orange, CA 92668 (714)935-0265 fax: (714)935-0106

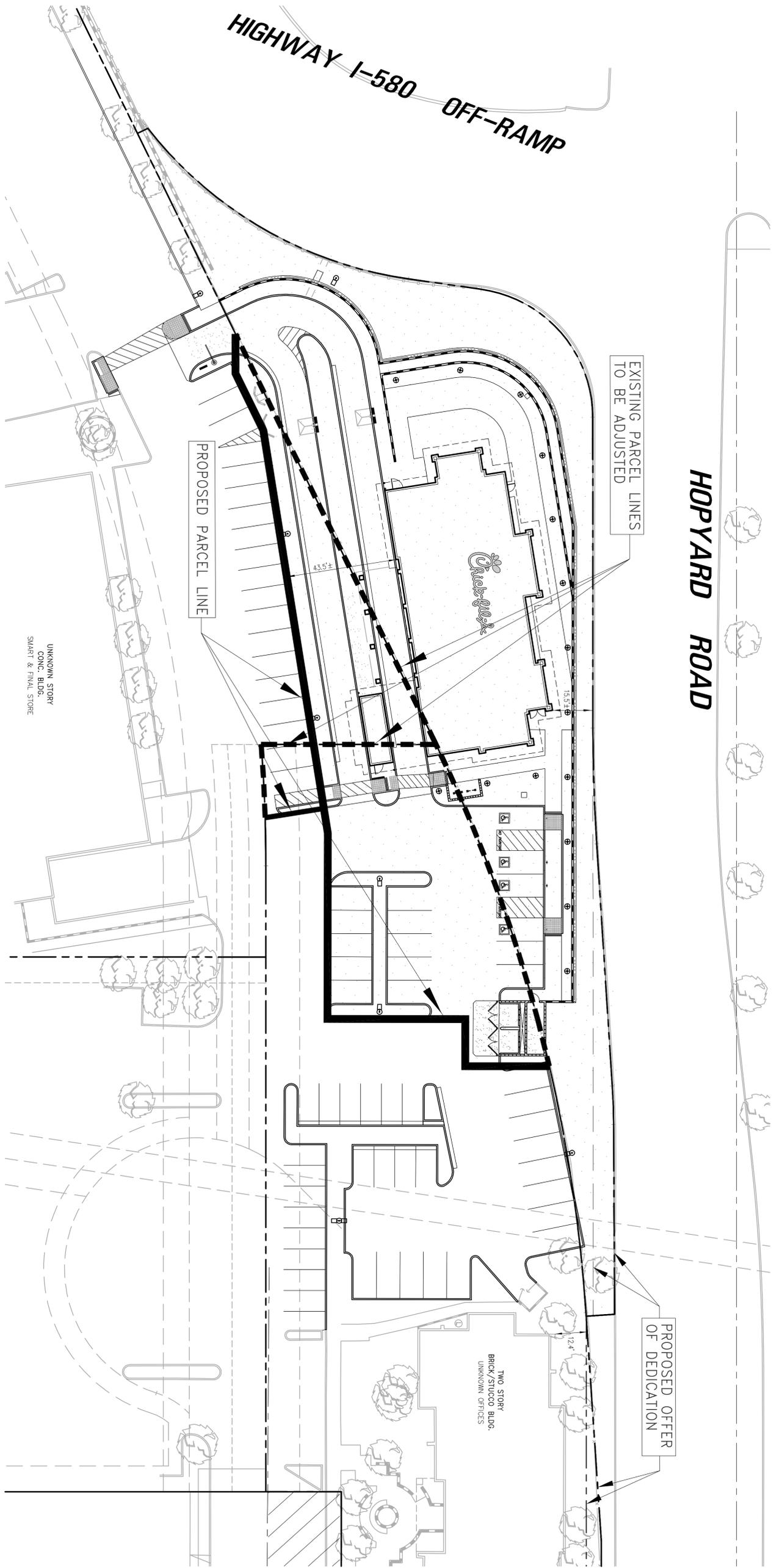


LOT LINE ADJUSTMENT EXHIBIT
 PLEASANTON SQUARE
 HOPLYARD ROAD AND 580
 CITY OF PLEASANTON, STATE OF CALIFORNIA

ISSUE DATE	5-6-14
DRAWN BY	JSH
CHECKED BY	SMH
JOB NO.	CFA12016
SHEET NO.	2

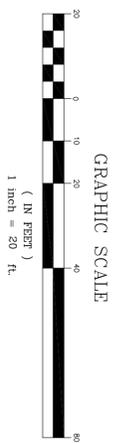
OF 3 SHEETS

PLOT: CA131500400(01)-3207-1201616A - PARCEL.DWG 10/12/2014 10:06 AM



NOTICE TO CONTRACTOR
 THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE
 Section 42161/4217 of the Government Code requires a Dig Alert Identification "Permit to Excavate" will be void. For your Dig Alert ID, Number call Underground Service Alert (USA) at 800-485-4848. Two working days before you dig.



GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft.

= PROPOSED CHICK-FIL-A PARCEL AREA.

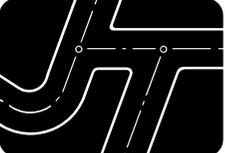
NOTE:
 SEE SEPARATE ALTA/ASOW SURVEY FOR EASEMENT, BOUNDARY, EXISTING UNDERGROUND UTILITY, EXISTING DEVELOPMENT INFORMATION AND LIST OF ABBREVIATIONS & SYMBOLS. PREPARED BY TRUXAW & ASSOCIATES, INC., DATED 5/8/2014.

**THIS PLAN IS:
 PRELIMINARY
 (NOT FOR CONSTRUCTION)**

PLDT: G:\P\CF1A12016\01-3207-12016LLA.DWG 5/8/2014 9:14 AM

SITE PLAN EXHIBIT

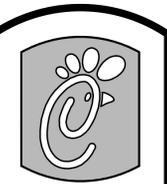
PLEASANTON SQUARE
 HOPYARD ROAD AND 580
 CITY OF PLEASANTON, STATE OF CALIFORNIA



Prepared by:
Joseph C. Truxaw and Associates, Inc.
 265 S. Anita Dr., Suite 111, Orange, CA. 92868 (714)935-0265 fax:(714)935-0106

NO.	REVISIONS	DATE

ISSUE DATE	5-6-14
DRAWN BY	JSH
CHECKED BY	SMH
JOB NO.	CF1A12016
SHEET NO.	3



Chick-fil-cu

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By
△ _____

Mark Date By
△ _____

Mark Date By
△ _____

Seal

STORE
Name
MODIFIED 4800

PLEASANTON SQUARE
HOPYARD ROAD/ 580
PLEASANTON, CA

SHEET TITLE
FLOOR PLAN

VERSION: 6
ISSUE DATE: 1-2011

Job No. : 11-260

Store : 3207

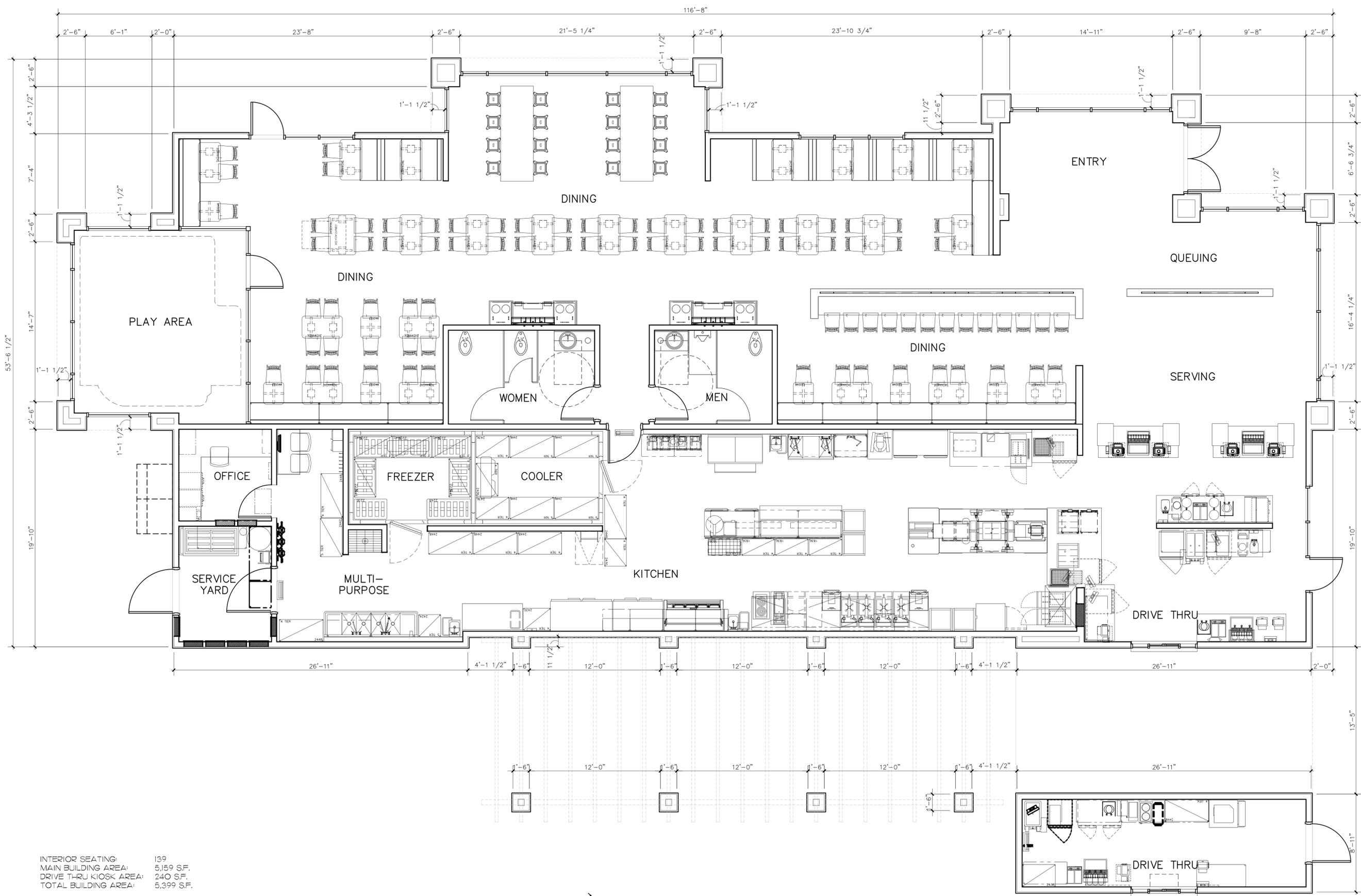
Date : 11-28-11

Drawn By : D.B.

Checked By: R.H.

Sheet

A-11

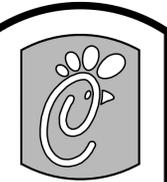


INTERIOR SEATING: 139
MAIN BUILDING AREA: 5,159 S.F.
DRIVE THRU KIOSK AREA: 240 S.F.
TOTAL BUILDING AREA: 5,399 S.F.

I FLOOR PLAN

1/4" = 1'-0"





Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal

STORE
Name
MODIFIED 4800

PLEASANTON SQUARE
HOPYARD ROAD/ 580
PLEASANTON, CA

SHEET TITLE
ROOF PLAN

VERSION: 6
ISSUE DATE: 1-2011

Job No. : 11-260

Store : 3207

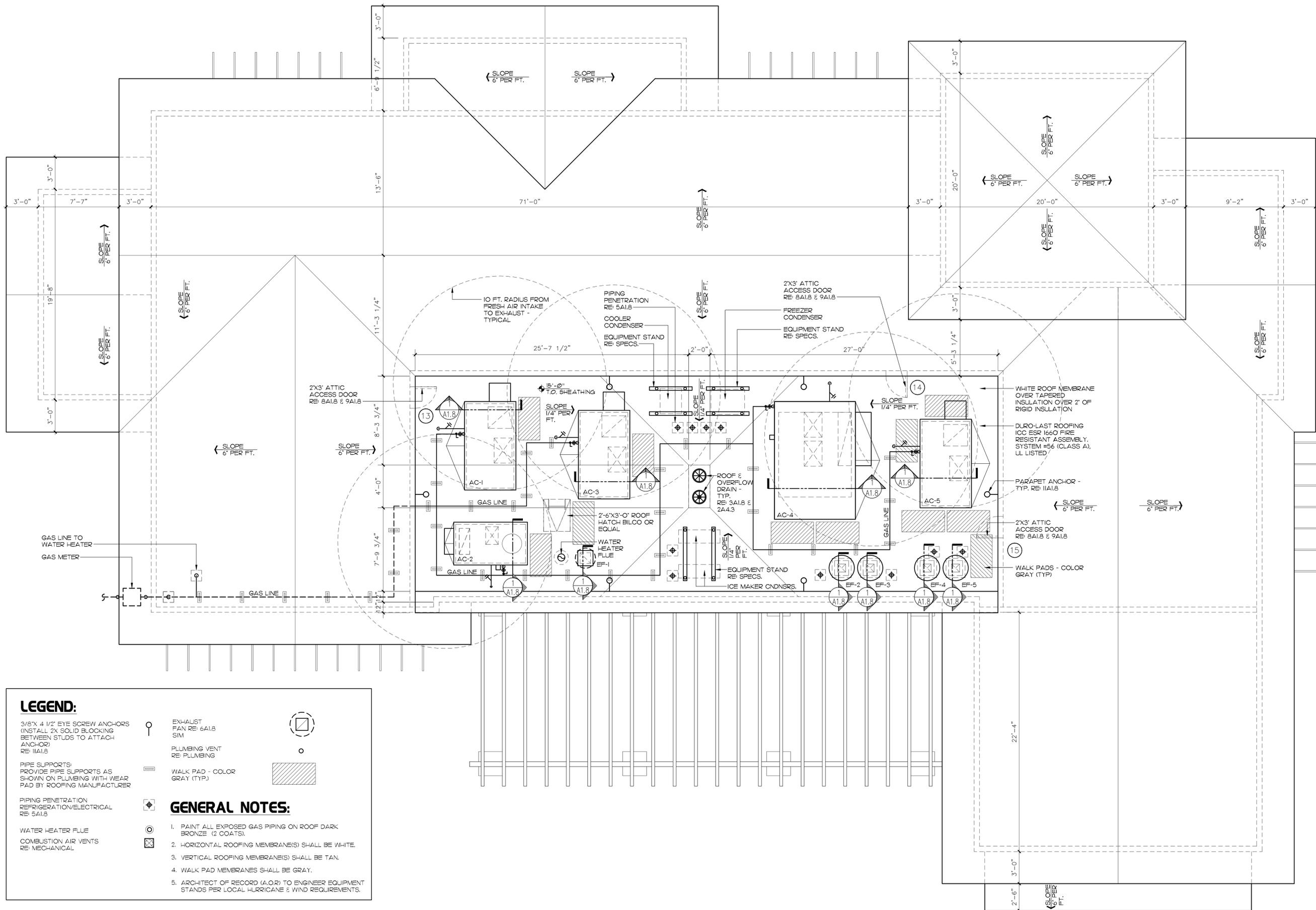
Date : 11-28-11

Drawn By : D.B.

Checked By: R.H.

Sheet

A-17



LEGEND:

3/8"X 4 1/2" EYE SCREW ANCHORS (INSTALL 2X SOLID BLOCKING BETWEEN STUDS TO ATTACH ANCHOR) RE: 11A1.8

PIPE SUPPORTS: PROVIDE PIPE SUPPORTS AS SHOWN ON PLUMBING WITH WEAR PAD BY ROOFING MANUFACTURER

PIPING PENETRATION REFRIGERATION/ELECTRICAL RE: 5A1.8

WATER HEATER FLUE COMBUSTION AIR VENTS RE: MECHANICAL



EXHAUST FAN RE: 6A1.8 SIM

PLUMBING VENT RE: PLUMBING

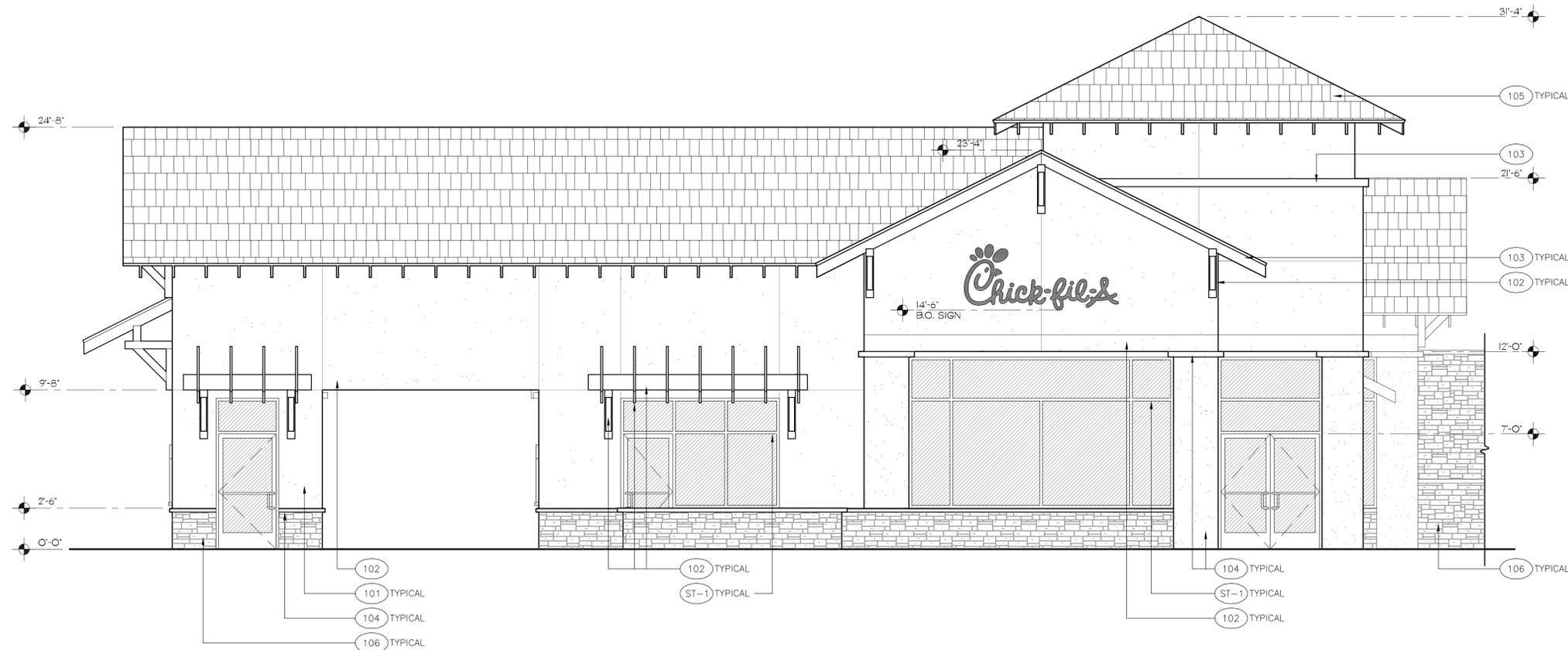
WALK PAD - COLOR GRAY (TYP.)

GENERAL NOTES:

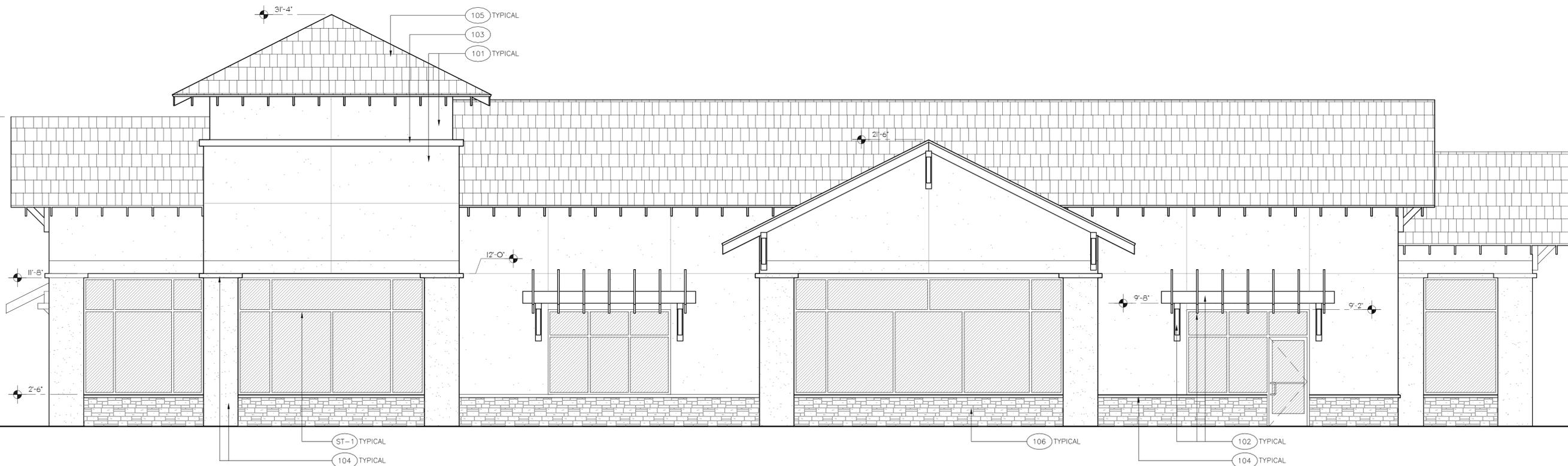
1. PAINT ALL EXPOSED GAS PIPING ON ROOF DARK BRONZE (2 COATS).
2. HORIZONTAL ROOFING MEMBRANE(S) SHALL BE WHITE.
3. VERTICAL ROOFING MEMBRANE(S) SHALL BE TAN.
4. WALK PAD MEMBRANES SHALL BE GRAY.
5. ARCHITECT OF RECORD (A.O.R) TO ENGINEER EQUIPMENT STANDS PER LOCAL HURRICANE & WIND REQUIREMENTS.

ROOF PLAN

1/4" = 1'-0"

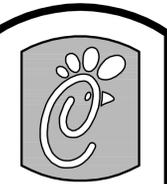


1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHES FOR STOREFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS			
101	STUCCO - PAINT SHERWIN WILLIAMS #SW7044 "AMAZING GRAY"	102	STUCCO & TRIM - PAINT SHERWIN WILLIAMS #SW7018 "DOVETAIL"
105	ROOF SHINGLES BORAL ROOFING - DURALITE 600 SHAKE - "SILVER SMOKE"	106	STONE VENEER CORONADO STONE PRO-LEDGE "CROSSROADS"
		103	STUCCO & TRIM - PAINT SHERWIN WILLIAMS #SW7009 "PEARLY WHITE"
		ST-1	STOREFRONT YKK-YES 45 COLOR-BRONZE ANODIZED PLUS
		104	PRECAST CONCRETE PRECAST INNOVATIONS, INC. COLOR:CD1, TEXTURE:SANDSTONE



Chick-fil&

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		

Mark	Date	By
△		

Mark	Date	By
△		

Seal

C · R · H · O
Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE Name
MODIFIED 4800

PLEASANTON SQUARE
HOPYARD ROAD / 580
PLEASANTON, CA

SHEET TITLE
PRELIMINARY
EXTERIOR
ELEVATIONS

VERSION: 6
ISSUE DATE: 1-2011

Job No. : 11-260
Store : 3207
Date : 11-28-11
Drawn By : D.B.
Checked By : R.H.

Sheet

A-2.1



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

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Store : 3207

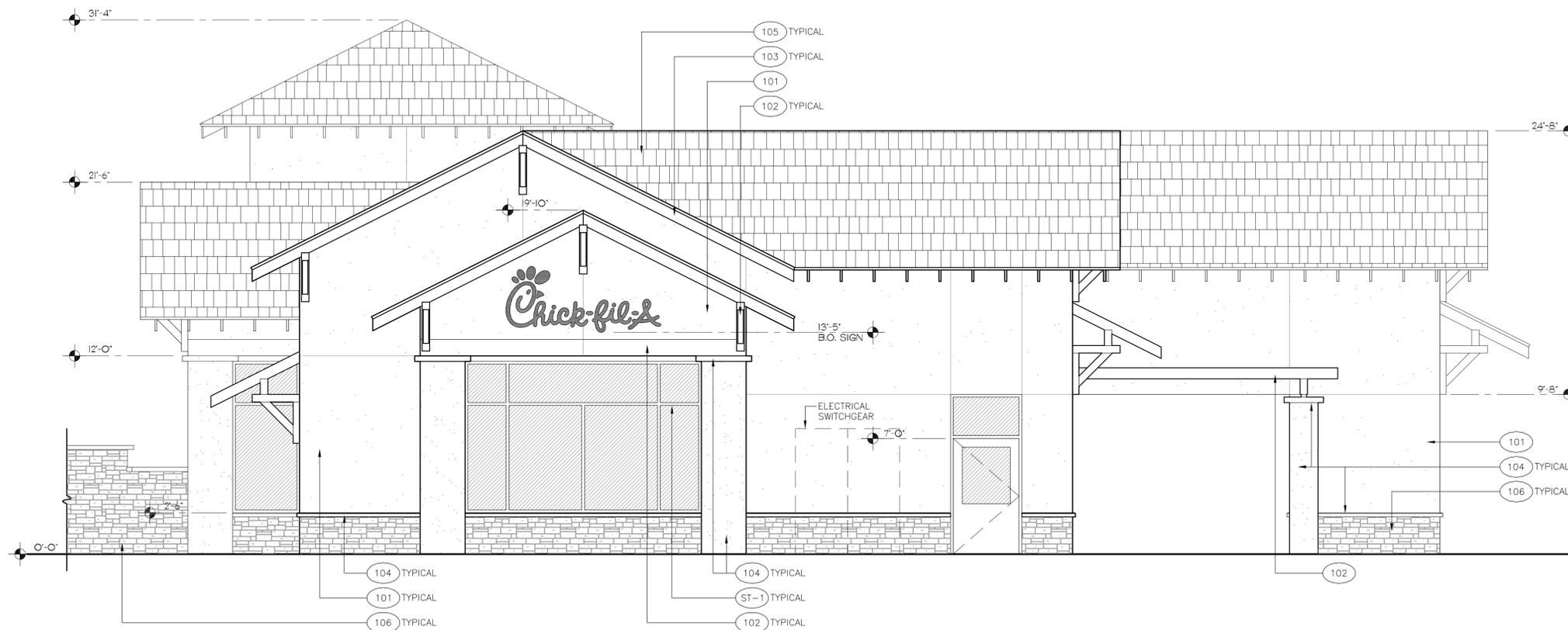
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Drawn By : D.B.

Checked By : R.H.

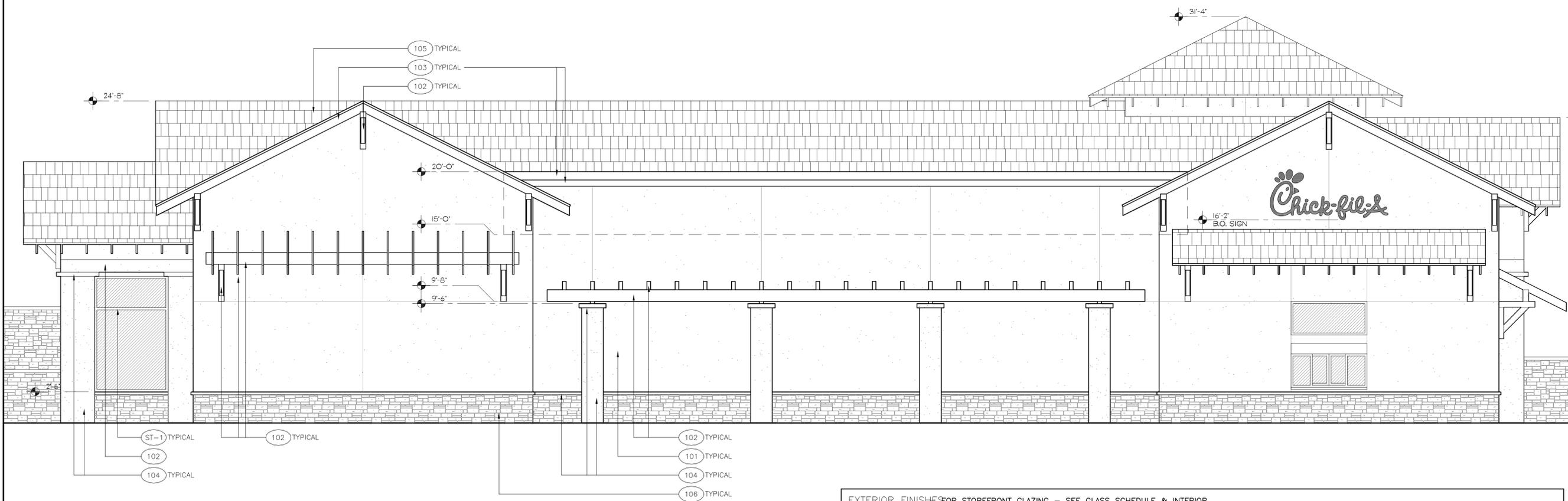
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A-2.2



1 NORTH ELEVATION

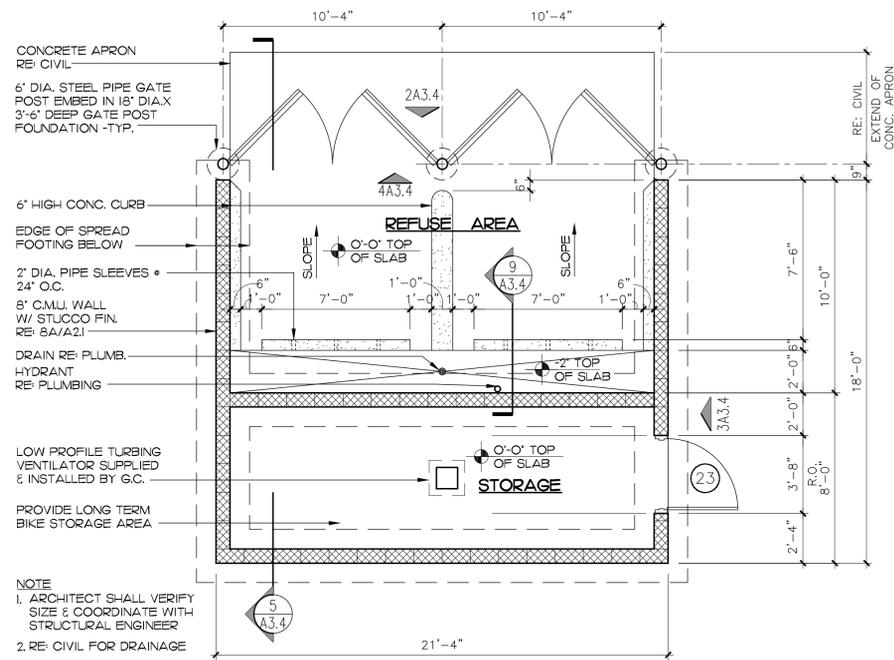
1/4" = 1'-0"



2 WEST ELEVATION

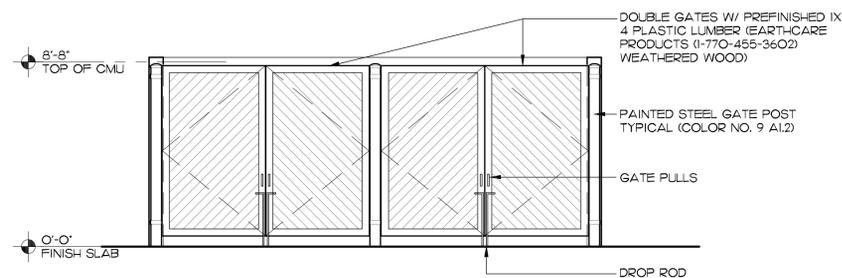
1/4" = 1'-0"

EXTERIOR FINISHES FOR STOREFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS			
101	STUCCO - PAINT SHERWIN WILLIAMS #SW7044 "AMAZING GRAY"	102	STUCCO & TRIM - PAINT SHERWIN WILLIAMS #SW018 "DOVETAIL"
105	ROOF SHINGLES BORAL ROOFING - DURALITE 600 SHAKE - "SILVER SMOKE"	106	STONE VENEER CORONADO STONE PRO-LEDGE "CROSSROADS"
		103	STUCCO & TRIM - PAINT SHERWIN WILLIAMS #SW7009 "PEARLY WHITE"
		ST-1	STOREFRONT YKK-YES 45 COLOR-BRONZE ANODIZED PLUS
		104	PRECAST CONCRETE PRECAST INNOVATIONS, INC. COLOR:CD1, TEXTURE:SANDSTONE



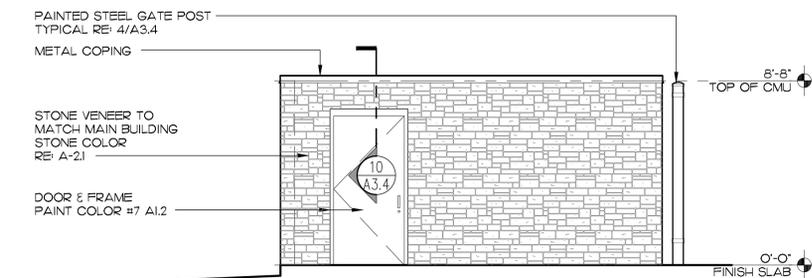
1 FLOOR PLAN

1/4" = 1'-0"



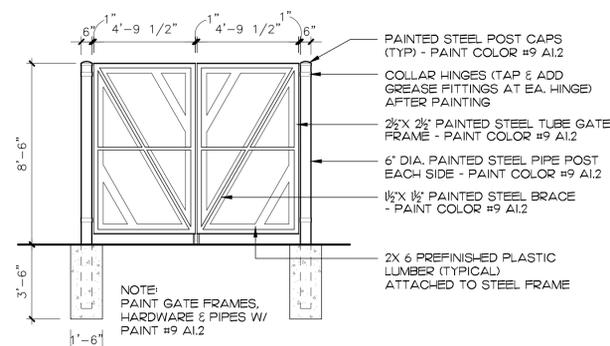
2 FRONT ELEVATION

1/4" = 1'-0"



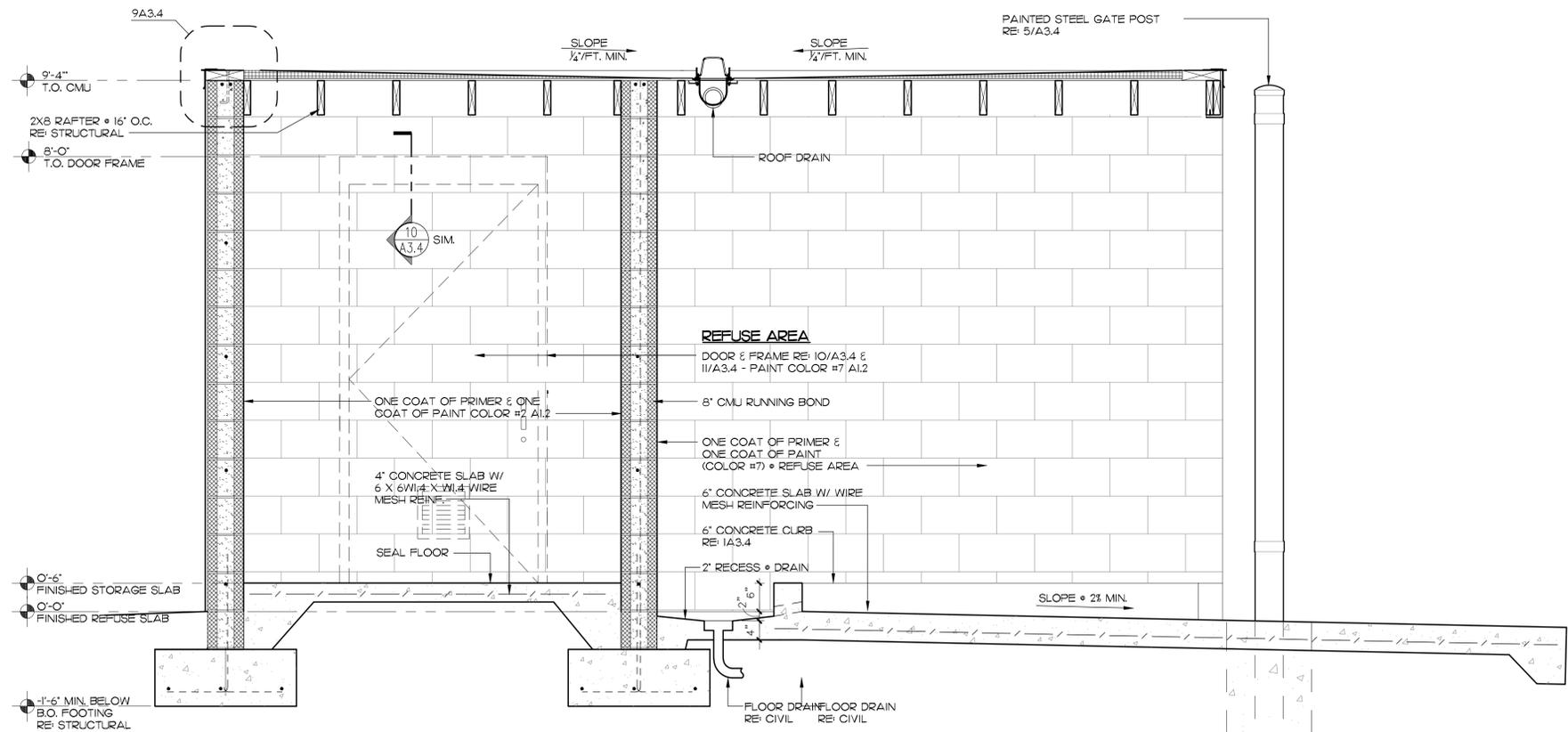
3 SIDE ELEVATION

1/4" = 1'-0"



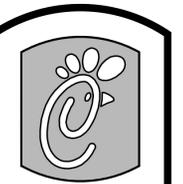
4 TYPICAL DOUBLE GATE ELEVATION

1/4" = 1'-0"



5 SECTION

3/4" = 1'-0"



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△ _____

Mark Date By

△ _____

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Seal

C · R · H · O

Architecture Interior Planning
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STORE
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MODIFIED 4800

PLEASANTON SQUARE
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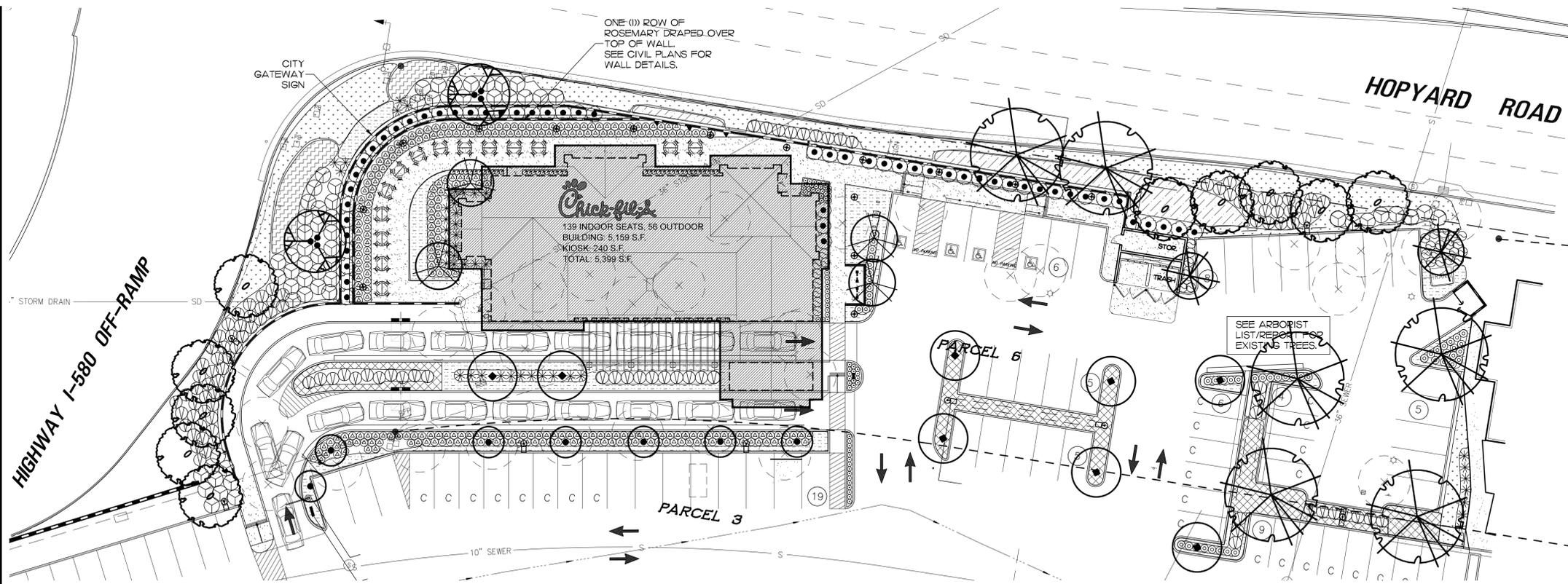
SHEET TITLE
REFUSE
ENCLOSURE

VERSION: 6
ISSUE DATE: 1-2011

Job No. : 11-260
Store : 3207
Date : 11-28-11
Drawn By : ---
Checked By : ---

Sheet

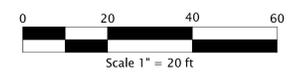
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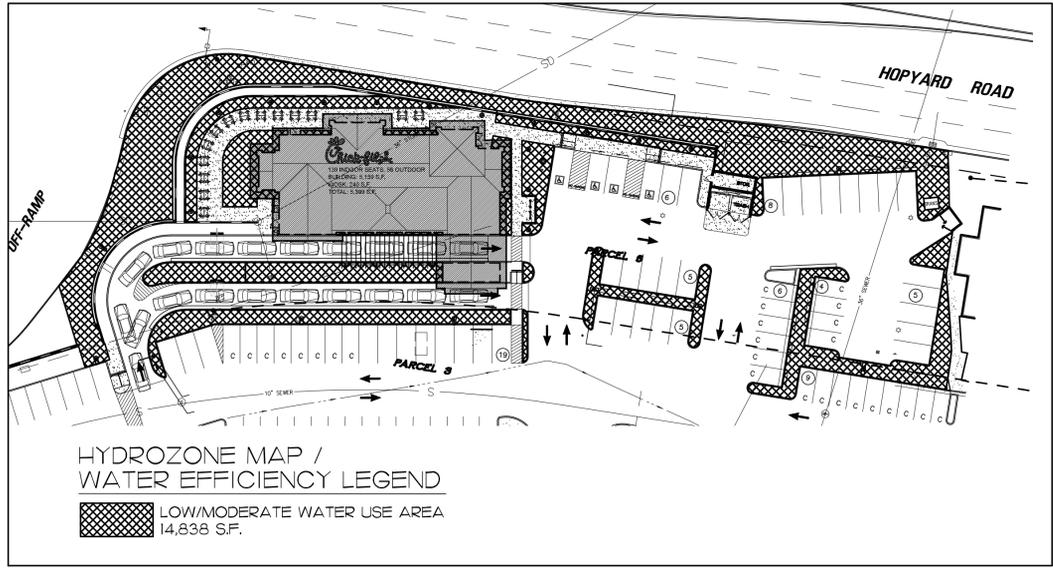
UNDERGROUND SERVICE ALERT
 CALL: TOLL FREE
 1-800-227-2600
 TWO WORKING DAYS BEFORE YOU DIG
 "CAUTION": REMEMBER THAT THE USA CENTER NOTIFIES ONLY THOSE UTILITIES BELONGING TO THE CENTER. THERE COULD BE OTHER UTILITIES PRESENT AT THE WORK SITE. THE CENTER WILL INFORM YOU OF WHOM THEY WILL NOTIFY.

LANDSCAPE CALCULATIONS	TOTAL
LANDSCAPE AREA	14,838 SF
SHRUB AREA	14,838 SF
LAWN AREA	(0) 0 SF
TOTAL LANDSCAPE AREA	14,838 SF

REQUIREMENT	REQUIRED	EXISTING	PROPOSED	TOTAL PROVIDED
PARKING LOT LANDSCAPING 5% OF LOT 21,625 X 5% = 1081.4	1,085 SF.		2,875 SF.	2,875 SF.



1 PLANTING PLAN
 1" = 20'-0"



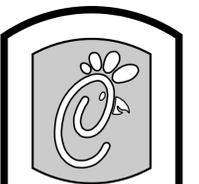
2 HYDROZONE MAP
 1" = 40'-0"

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS REGION #1	WATER USE
TREES							
(X)	EXISTING TO BE REMOVED	SPECIES VARIES	EXT'G	-	DEMO		
	QUERCUS ILEX	HOLLY OAK		10	SEE TREE SURVEY REPORT		
	SEQUOIA SEMPERVIRENS	COAST REDWOOD		9	PREPARED BY ARBOR RESOURCES		
	QUERCUS AGRIFOLIA	COAST LIVE OAK		3	DAVID L. BABBY RCR#399 / #WE-40018		
	EUCALYPTUS LEUCOXYLON	EUCALYPTUS		9			
	ALNUS RHOMIFOLIA	WHITE ALDER		3	(34 TOTAL)		
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	6	STANDARD		V LOW
	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	24" BOX	4	STANDARD		MOD
	LAGERSTROEMIA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	24" BOX	7	STANDARD		MOD
	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	24" BOX	12	STANDARD		MOD
	PLATANUS RACEMOSA	SYCAMORE	24" BOX	6	STANDARD		MOD
	QUERCUS AGRIFOLIA	COAST LIVE OAK	60" BOX	2	LOW BRANCHING		V LOW
	SEQUOIA SEMPERVIRENS	COAST REDWOOD	24" BOX	2	STANDARD		HIGH
	(39 TOTAL)						
SHRUBS / GROUND COVERS / VINES							
(Dotted)	ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	1 GALLON	2,784 SF	3'-0" O.C.		LOW
(Diagonal lines)	BACCHARIS PILLULARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	5 GALLON	816 SF	4'-0" O.C. MALE		LOW
(Cross-hatch)	CAREX TUMICOLA	BERKELEY SEDGE	4" PLUGS	1,140 SF	1'-0" O.C.		MOD
(Circle with dot)	CEANOETHUS HYBRID 'DARK STAR'	CALIFORNIA LILAC	5 GALLON	61	5'-0" O.C.		LOW
(Circle with horizontal lines)	CISTUS X. PURPUREUS	ORCHID ROCKROSE	5 GALLON	36	3'-0" O.C.		LOW
(Circle with vertical lines)	DIETES BICOLOR	FORTNIGHT LILY	5 GALLON	301	2'-6" O.C.		LOW
(Circle with diagonal lines)	DODONEA VISCOSA 'PURPUREA'	PURPLE HOPSEED BUSH	15 GALLON	74	5'-0" O.C.		LOW
(Circle with horizontal lines)	HEUCHERA MICRANTHA 'PALACE PURPLE'	CORAL BELLS	5 GALLON	39	1'-6" O.C.		MOD
(Circle with vertical lines)	LANTANA HYBRID 'NEW GOLD'	LANTANA	1 GALLON	467 SF	3'-0" O.C.		LOW
(Circle with horizontal lines)	MULLENBERGIA RIGENS	DEER GRASS	5 GALLON	98	4'-0" O.C.		LOW
(Circle with vertical lines)	PHORMIUM TENAX 'JACK SPRATT'	DWARF NEW ZEALAND FLAX	5 GALLON	100	1'-6" O.C.		LOW
(Circle with horizontal lines)	PHORMIUM HYBRID 'EVENING GLOW'	NEW ZEALAND FLAX	5 GALLON	56	3'-6" O.C.		LOW
(Circle with vertical lines)	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	TRAILING ROSEMARY	1 GALLON	1,676 SF	2'-0" O.C.		LOW
(Circle with horizontal lines)	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	5 GALLON	70	2'-6" O.C.		LOW
(Circle with vertical lines)	PANDOREA JASMINOIDES	WHITE BOWER VINE	15 GALLON	3	REMOVE FROM STAKE ESPALIER TO WALL		MOD

PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "HORTICULTURAL STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION"
- PROVIDE ROOT DEFLECTORS FOR ALL TREES PLANTED WITHIN EIGHT (8) FEET OF PAVED SURFACES.
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- SEE PLANTING DETAILS FOR PLANTING AND STAKING AND GUTTING REQUIREMENTS.
- FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF UTILITIES. REPAIR TO INCLUDE ALL DAMAGED IRRIGATION AND PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- ALL SHRUB AREAS TO BE TOP DRESSED WITH 3" LAYER OF FINE SHREDED REDWOOD BARK. ALL TOP DRESSING TO BE INSTALLED TO TOP OF WALK.
- FINISH GRADE TO BE 3" BELOW TOP OF CURB OR SIDEWALK FOR SHRUB BEDS & GROUND COVER AREAS.
- ALL PLANTER AREAS TO BE ROTOTILLED AND AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS FOUND IN AGRONOMIC SOILS REPORT. NO DEVIATIONS.
- ALL FINISH GRADING SHALL BE DIRECTED AWAY FROM THE BUILDING AND WALKS AND TOWARDS THE PERVIOUS PLANTER AREAS TO THE MAXIMUM EXTENT PRACTICABLE. REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, ROLLING, MOWING, RESEEDING, EDGING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT SHALL ADHERE TO CITY OF PLEASANTON LANDSCAPE STANDARDS.
- ALL BACKFLOW PREVENTERS AND UTILITIES TO BE SCREENED WITH LANDSCAPE.
- CONSTRUCTION WASTE TO BE RECYCLED PER BAY-FRIENDLY CIVIC AND COMMERCIAL LANDSCAPE PRACTICES. WWW.BAYFRIENDLY.ORG



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 Atlanta Georgia,
 30349-2998

Revisions:
 Mark Date By
 3-14-14

Mark Date By

Mark Date By



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 FAX 832-1910



STORE Name
 MODIFIED 4800

PLEASANTON SQUARE
 HOPYARD ROAD / 580
 PLEASANTON, CA

SHEET TITLE
 PLANTING PLAN

VERSION: 6
 ISSUE DATE: 1-2011

Job No. : 11-260
 Store : 3207
 Date : 11-28-11
 Drawn By : KLM
 Checked By : JGH

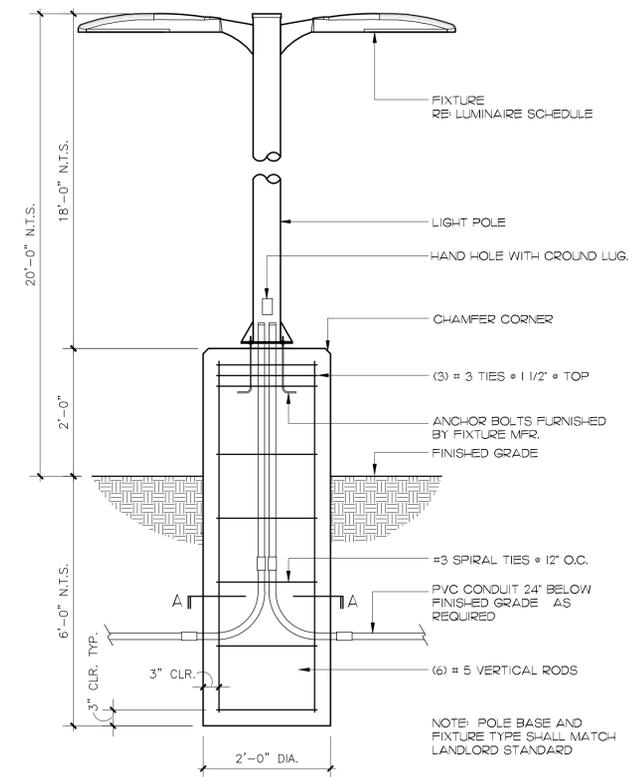


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LITHONIA	DSX1 LED 300 1000 30K 115 MVOLT	DSX1 LED WITH (1) 30 LED LIGHT ENGINE, TYPE T15 OPTIC, 3000K @ 1000mA	LED MOUNTED @ 20°	1	DSX1_LED_300_1000_30K_115_MVOLT.dwg	7228-794	1	105
	B	7	LITHONIA	DSX1 LED 300 1000 30K 128 MVOLT	DSX1 LED WITH (1) 30 LED LIGHT ENGINE, TYPE T25 OPTIC, 3000K @ 1000mA	LED MOUNTED @ 20°	1	DSX1_LED_300_1000_30K_128_MVOLT.dwg	7571-453	1	105
	C	1	LITHONIA	DSX1 LED 300 1000 30K 135 MVOLT	DSX1 LED WITH (1) 30 LED LIGHT ENGINE, TYPE T35 OPTIC, 3000K @ 1000mA	LED MOUNTED @ 20°	1	DSX1_LED_300_1000_30K_135_MVOLT.dwg	7487-395	1	105
	D	16	LOUIS POULSEN	ALB-MI-PT-LED	SATELLIT MINI		1	90505004.dwg	6000	1	85
	E	6	GOHAM ARCHITECTURAL LIGHTING	AFV 26TRT 4AR CGL	AFV 4" APERTURE LENSED DOWNLIGHT WITH CLEAR GLASS LENS 26TRT	ONE 26-WATT TRIPLE TUBE COMPACT FLUORESCENT, VERTICAL BASE-UP POSITION.	1	AFV_26TRT_4AR_CGL.dwg	1800	1	29
	F	6	GOHAM ARCHITECTURAL LIGHTING	CF10 118TRT 6AR	CF10 CYLINDER 6" APERTURE OPEN DOWNLIGHT 118TRT	ONE 18-WATT TRIPLE TUBE COMPACT FLUORESCENT, HORIZONTAL POSITION.	1	CF10_1_18TRT_6AR.dwg	1200	1	22
	G*	2	PHILIPS	EW BLAST POWERCORE	G ESSEF 4000V00 LENS		1	CF10_1_18TRT_6AR.dwg	1786	1	47

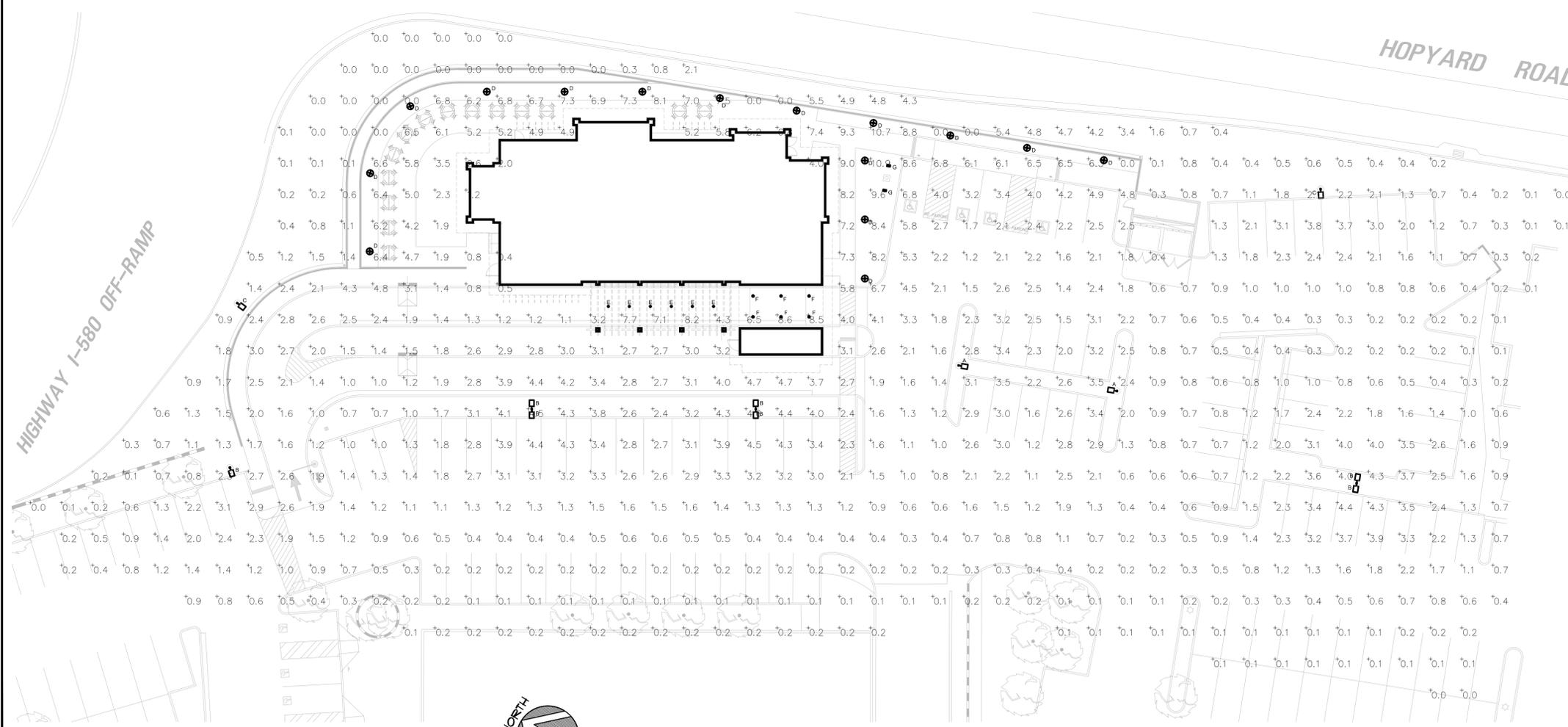
* FLAG POLE ILLUMINATION

STATISTICS

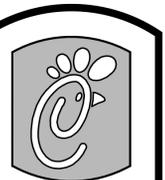
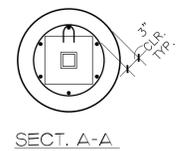
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.9 fc	10.9 fc	0.0 fc	N/A	N/A



2 LOT LIGHT POLE BASE DETAIL
3/4" = 1'-0"



1 SITE PHOTOMETRIC
1" = 20'-0"



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STORE
Name
MODIFIED 4800

PLEASANTON SQUARE
HOPYARD ROAD/ 580
PLEASANTON, CA

SHEET TITLE
SITE PLAN

VERSION: 6
ISSUE DATE: 1-2011

Job No. : 11-260
Store : 3207
Date : 11-28-11
Drawn By : D.B.
Checked By: R.H.

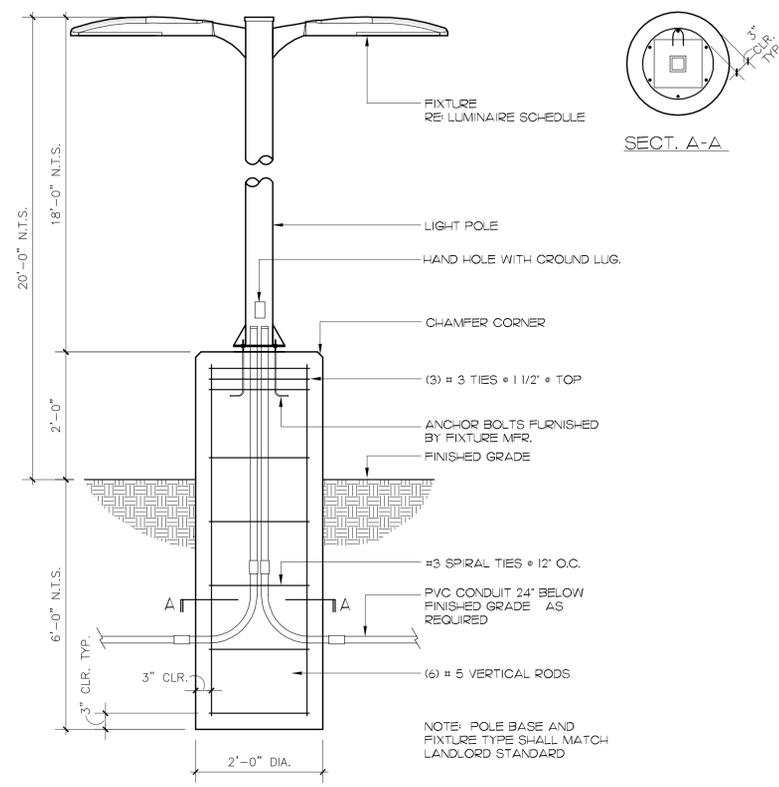
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PH-I

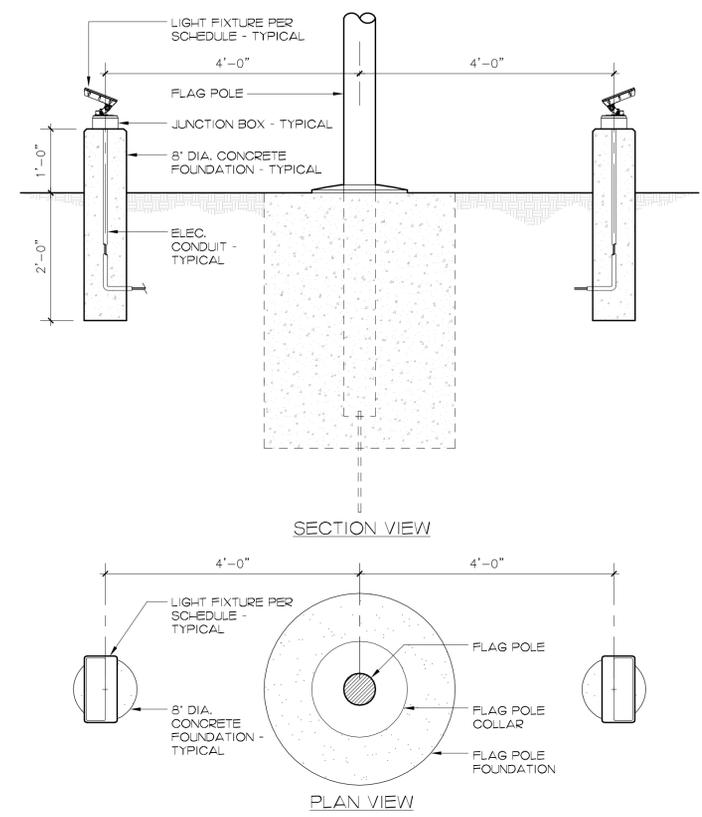
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	LITHONIA	DSK1 LED 300 1000 30K 115 MVOLT	DSK1 LED WITH (1) 30 LED LIGHT ENGINE, TYPE 115 OPTIC, 3000K, @ 1000MA	LED MOUNTED @ 20'-0"	1	DSK1_LED_300_1000_30K_115_MVOLT.dwg	7228,794	1	100
	B	7	LITHONIA	DSK1 LED 300 1000 30K 125 MVOLT	DSK1 LED WITH (1) 30 LED LIGHT ENGINE, TYPE 125 OPTIC, 3000K, @ 1000MA	LED MOUNTED @ 20'-0"	1	DSK1_LED_300_1000_30K_125_MVOLT.dwg	7571,453	1	100
	C	1	LITHONIA	DSK1 LED 300 1000 30K 135 MVOLT	DSK1 LED WITH (1) 30 LED LIGHT ENGINE, TYPE 135 OPTIC, 3000K, @ 1000MA	LED MOUNTED @ 20'-0"	1	DSK1_LED_300_1000_30K_135_MVOLT.dwg	7487,356	1	100
	D	16	LOUIS POULSEN	ALBAM-PT-LED	SATELLIT MINI		1	9050504.dwg	9300	1	85
	E	6	GOTTMAN ARCHITECTURAL LIGHTING	APV 26TRT 4AR CGL	APV 4" APERTURE LENSED DOWNLIGHT WITH CLEAR GLASS LENS 26TRT	ONE 26-WATT TRIPLE TUBE COMPACT FLUORESCENT, VERTICAL-BASE-UP POSITION	1	APV_26TRT_4AR_CGL.dwg	1800	1	29
	F	6	GOTTMAN ARCHITECTURAL LIGHTING	CF10 118TRT 6AR	CF10 CYLINDER 6" APERTURE OPEN DOWNLIGHT 118TRT	ONE 18-WATT TRIPLE TUBE COMPACT FLUORESCENT, HORIZONTAL POSITION	1	CF10_118TRT_6AR.dwg	1200	1	22
	G*	2	PHILIPS	EW BLAST POWERCORE	2700K, 21" FROSTED LENS		1	CF10_118TRT_6AR.dwg	1786	1	47

* FLAG POLE ILLUMINATION

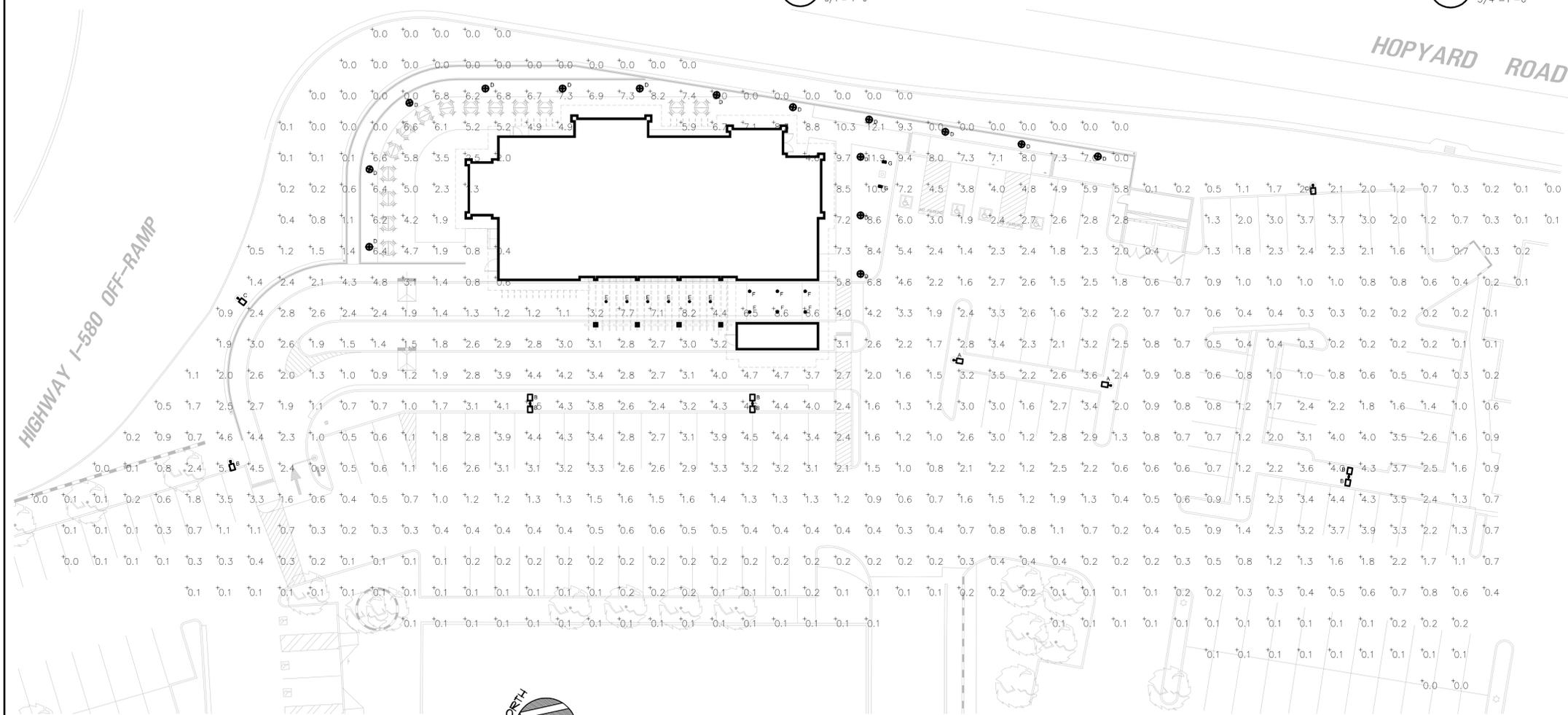
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.9 fc	10.9 fc	0.0 fc	N/A	N/A



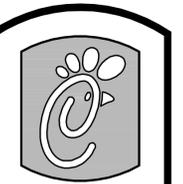
2 LOT LIGHT POLE BASE DETAIL
3/4" = 1'-0"



3 FLAG POLE ILLUMINATION
3/4" = 1'-0"



1 SITE PHOTOMETRIC
1" = 20'-0"



Chick-fil-A

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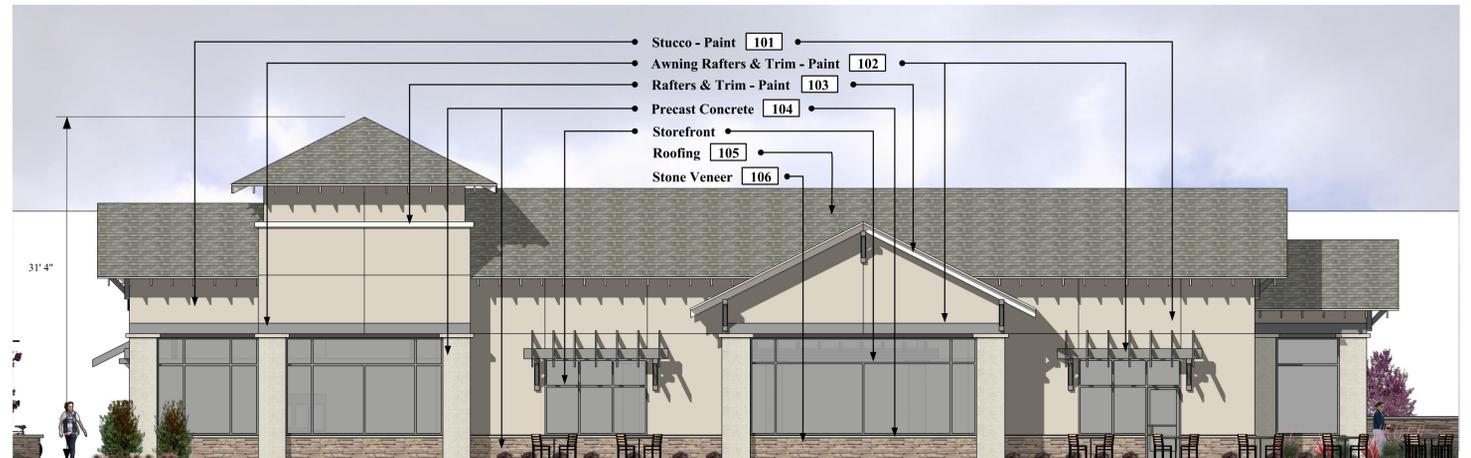
Job No. : 11-260
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Drawn By : D.B.
Checked By : R.H.

Sheet

PH-I



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



PRELIMINARY ELEVATIONS
Pleasanton, California

Note:
All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

COLOR AND MATERIAL LEGEND

- 101 Paint - Sherwin Williams - #SW 7044 "Amazing Gray"
- 102 Paint - Sherwin Williams - #SW 7018 "Dovetail"
- 103 Paint - Sherwin Williams - #SW 7009 "Pearly White"
- 104 Precast Concrete - Precast Innovations, Inc. "Color: CD1, Texture: Sandstone"
- 105 Roofing - Boral Roofing - Duralite 600 Shake "Silver Smoke"
- 106 Stone Veneer - Coronado - Pro-Ledge "Crossroads"



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NORTHWEST VIEW - 0 YEARS



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ENTRANCE VIEW - 0 YEARS



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NORTHWEST VIEW - 3 YEARS



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NORTHWEST VIEW - 10 YEARS



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NORTH PATIO VIEW - 10 YEARS



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NORTHWEST VIEW - 5 YEARS



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SOUTHWEST VIEW - 5 YEARS



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NORTH STREET VIEW - 5 YEARS



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NORTH VIEW - 5 YEARS



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SOUTHEAST VIEW - 5 YEARS



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ENTRANCE VIEW - 5 YEARS



3D RENDERING
Pleasanton, California

07-15-14

C · R · H · O

Architecture Interiors Planning

195 South "C" Street Suite 200

Tustin, California 92780

714 832 1834

FAX 714 832 1910



NORTH PATIO VIEW - 5 YEARS



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PRESENTED TO



Hopyard & I-580, Pleasanton, CA



National Sign & Marketing Corporation



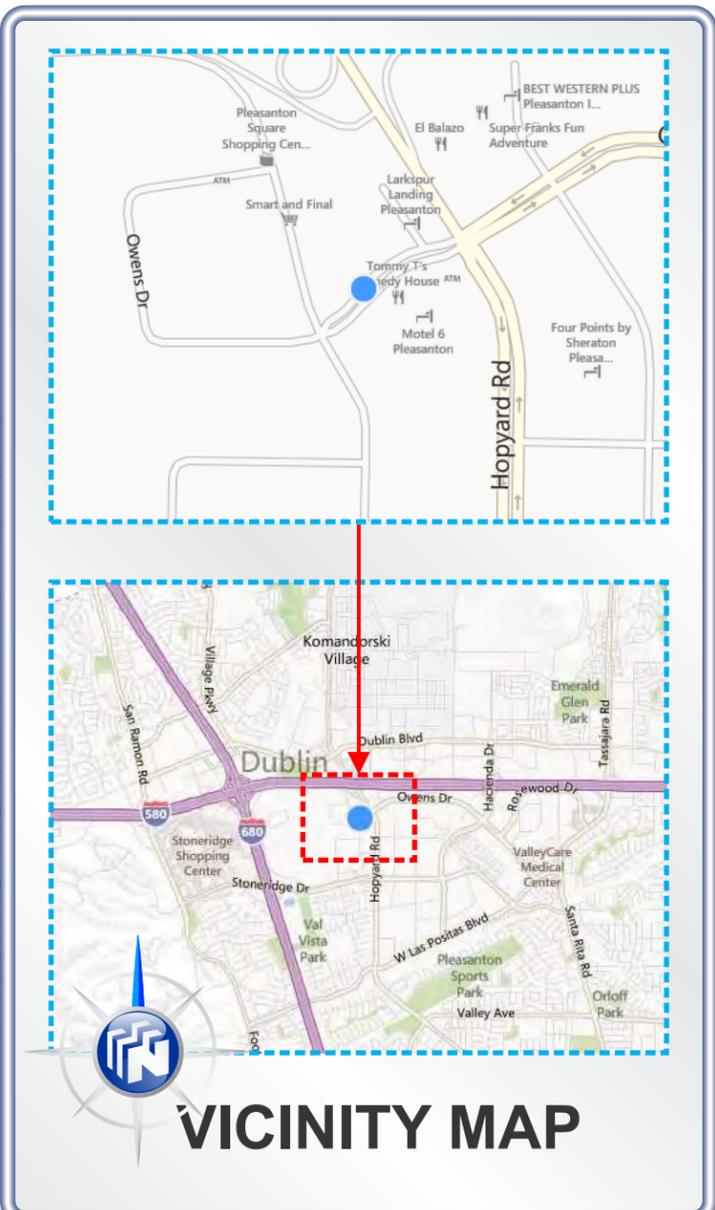
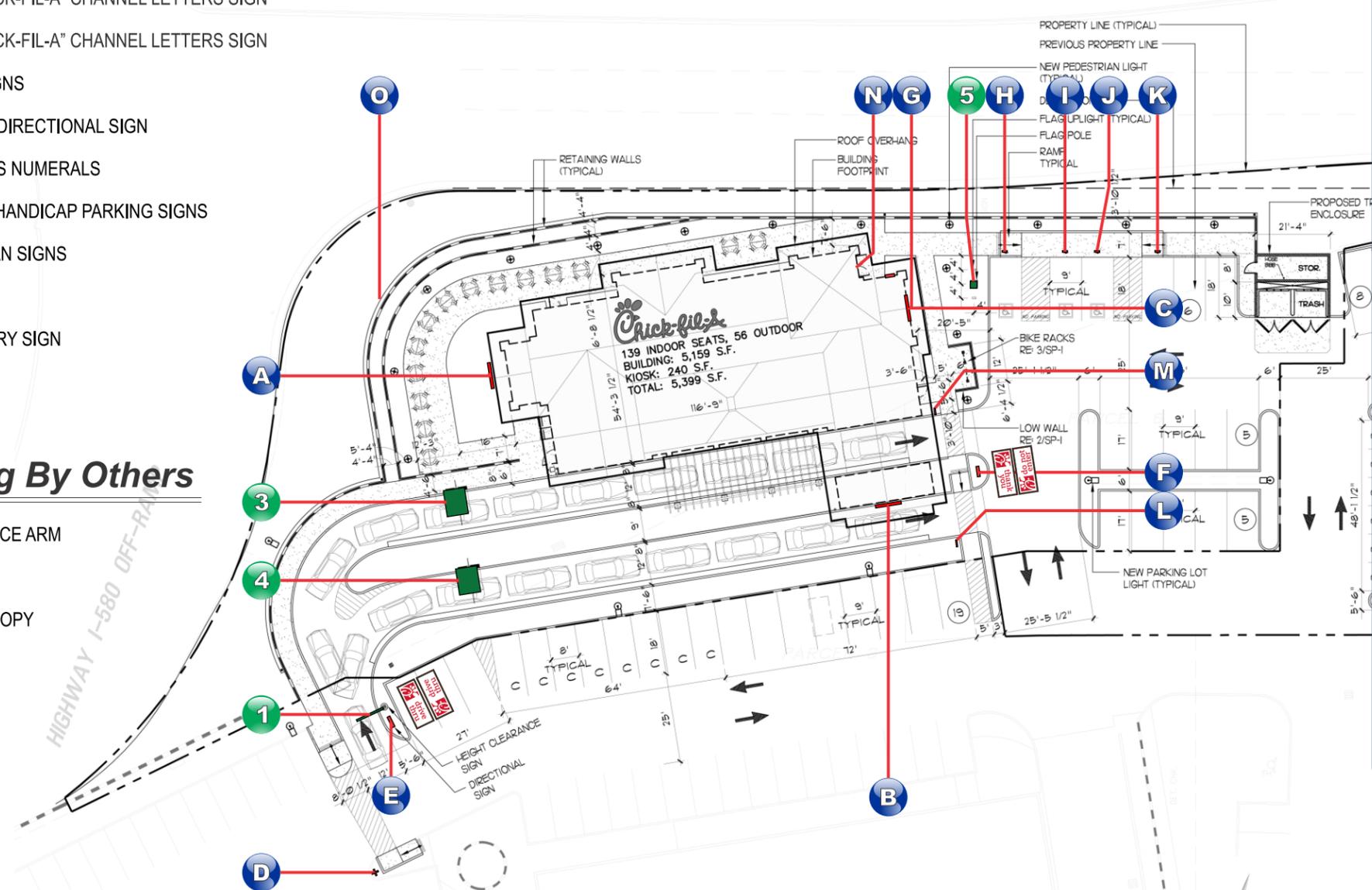
13580 5th Street • Chino, CA 91710 • Tel: 909.591.4742 • FAX: 909.591.9792 • Toll Free: 877.877.NSMC

Scope of Work

- A** NEW 4'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN
- B** NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN
- C** NEW 4'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN
- D** NEW PEDESTRIAN SIGNS
- E F** NEW D/F ILLUM. DIRECTIONAL SIGN
- G** NEW SINTRA ADDRESS NUMERALS
- H I J K** NEW HANDICAP PARKING SIGNS
- L M** NEW PEDESTRIAN SIGNS
- N** NEW WINDOW VINYL
- O** NON-ILLUM. CITY ENTRY SIGN

Install Only Manufacturing By Others

- 1** DRIVE-THRU CLEARANCE ARM
- 2** NOT USED
- 3 4** DRIVE-THRU CANOPY
- 5** FLAG POLE



NOTE:
ALL NEW SIGNAGE TO CONNECT TO CLIENT PROVIDED ELECTRICAL CIRCUITS

CHICK-FIL-A - Pleasanton, CA. - Site Plan

SCALE: NTS

LOGO ARTWORK YES NO <input type="checkbox"/> <input checked="" type="checkbox"/> WINDOWS READY VECTOR LINE DIGITAL ARTWORK OR B&W CAMERA READY ARTWORK WILL BE REQUIRED PRIOR TO FABRICATION		SALESMAN TO PROVIDE ACTUAL COLOR INFORMATION PRIOR TO FABRICATION YES NO <input type="checkbox"/> <input type="checkbox"/>	
FIELD SURVEY REQUIRED FOR: YES NO <input type="checkbox"/> <input checked="" type="checkbox"/> COLOR MATCHING PURPOSES TO EXISTING BUILDING(S)/SIGNAGE etc. 16 3 <input type="checkbox"/> <input checked="" type="checkbox"/> MATCHING STONE, BRICK OR OTHER BUILDING MATERIALS TO EXISTING <input type="checkbox"/> <input checked="" type="checkbox"/> DETERMINE ACTUAL DIMENSIONS OF EXISTING SIGNAGE FOR REFACE BEFORE FABRICATION			
SIGNAGE LOCATIONS: HAS CUSTOMER APPROVED SIGN LOCATION(S) FOR INSTALLATION? YES NO <input checked="" type="checkbox"/> <input type="checkbox"/>		CUSTOMER APPROVAL: DRAWINGS YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> COLORS YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> TEXT YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	
MISCELLANEOUS: DEPOSIT REQUIRED YES <input type="checkbox"/> NO <input type="checkbox"/> SIGNED CONTRACT YES <input type="checkbox"/> NO <input type="checkbox"/> ORDER LED UNIT YES <input type="checkbox"/> NO <input type="checkbox"/>			

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Project: Chick-Fil-A #3207
Address: Hopyard & I-580, Pleasanton, CA
Phone: _____ **Account Mgr.:** S. Rosenbloom
Designer: Duffy, S. **Scale:** Noted **Date:** 07/06/2013

Client Approval:

Date: _____

APPROVED & RELEASED FOR CONSTRUCTION
 Salesman _____ Date _____

Revisions:

01/29/13 SD: Add city entry sign	04/25/14 SD: Change flag height
08/28/13 SD: Change D to channel letters	05/06/14 SD: Add 'C' height on E and F
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Drawing Number
25726
 R12





A NEW 4'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN

North Elevation

SCALE: 3/32" = 1'-0"



C NEW 4'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN

N NEW WINDOW VINYL

South Elevation

SCALE: 3/32" = 1'-0"

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B NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN

West Elevation

SCALE: 3/32" = 1'-0"



G NEW SINTRA ADDRESS NUMERALS

East Elevation

SCALE: 3/32" = 1'-0"

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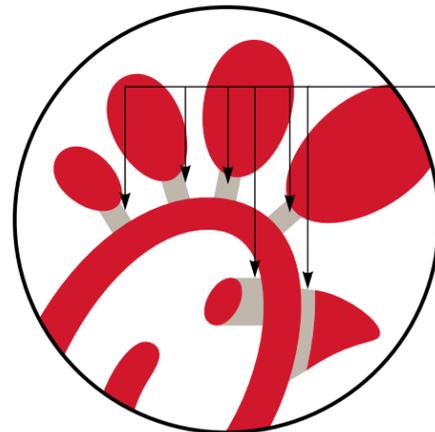




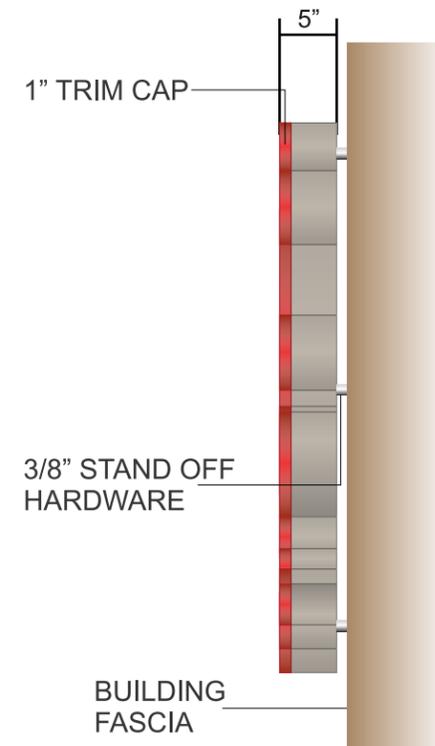
.040 ALUMINUM STIFF-ARM SUPPORT REVEALS PAINTED TO MATCH MOUNTING SURFACE COLOR

AREA: 58.75 SQ. FT.
AREA: 35.15 SQ. FT.
8 STRAIGHT LINES

B NEW 5'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN



.040 ALUMINUM STIFF-ARM SUPPORT REVEALS PAINTED TO MATCH MOUNTING SURFACE COLOR



Specifications:

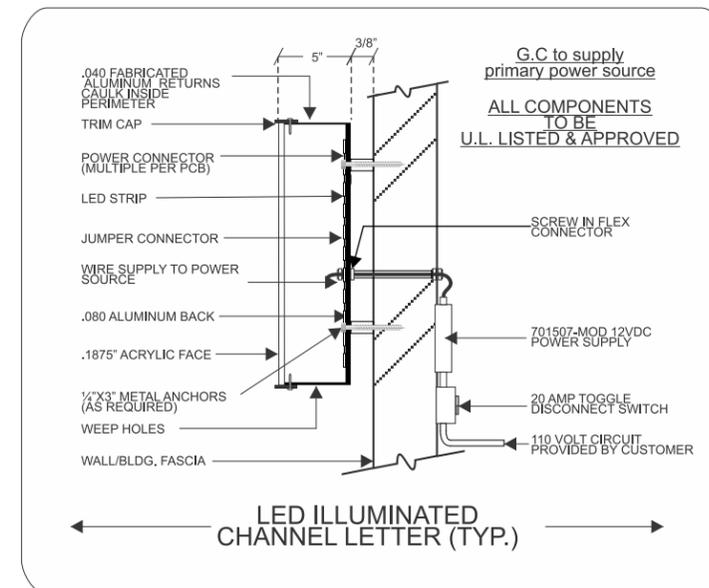
- BODY: S/F CUSTOM FABRICATED ALUMINUM CABINET CONSTRUCTED OF .040 WITH .080 ALUMINUM BACKS. ALUMINUM RETURNS STAPLED TO BACKS.
- FACES: .1875 ROHM & HAAS #2793 RED ACRYLIC
- TRIM CAP: 1" TRUE RED JEWELITE TRIM CAP (ADHERED VIA WELD ON RETURNS)
- RETURNS: 5" DEEP RETURNS PAINTED TO MATCH MOUNTING SURFACE COLOR
- STANDOFF: 1/2" STAND OFF HARDWARE.
- REGISTERED: .1875 CLEAR ACRYLIC FLAG WITH ARLON #2500-253 CARDINAL RED VINYL ® ATTACHED TO BACK OF 'A'
- ILLUMINATION: RED LED LIGHTING WITH REMOTE TRANSFORMERS.
ALL WIRING & COMPONENTS TO MEET U.L. STANDARDS



NOTE: THRU-BOLT FASTENERS ARE THE PREFERRED METHOD FOR ATTACHMENT

FASTENER SCHEDULE		
	3/8" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATION (EXCL. TIP)
	3/8" DIA. THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS.
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2".
	3/8" DIA. HILTI HIT ROD WITH HY150 MAX ADHESIVE	FOR USE WITH CONCRETE. EMBED A MIN. OF 2".
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH CONCRETE BLOCK. EMBED A MIN. OF 2".
	3/8" DIA. HILTI HLC SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".

INSTALLER SHALL VERIFY THAT FASTENERS CHOSEN ARE SUITABLE WITH WALL CONDITIONS



CHICK-FIL-A S/F LED ILLUMINATED CHANNEL LETTERS

SCALE: 1/2" = 1'-0"

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04/19/14 SD: Add pedestrian sign

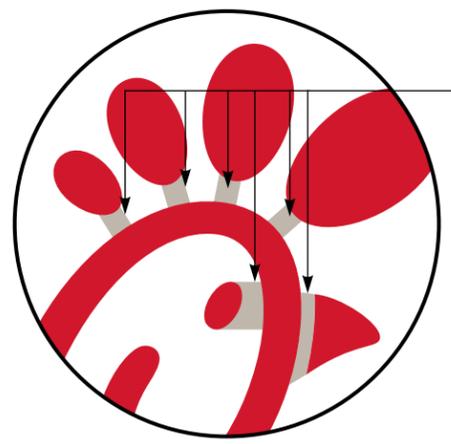
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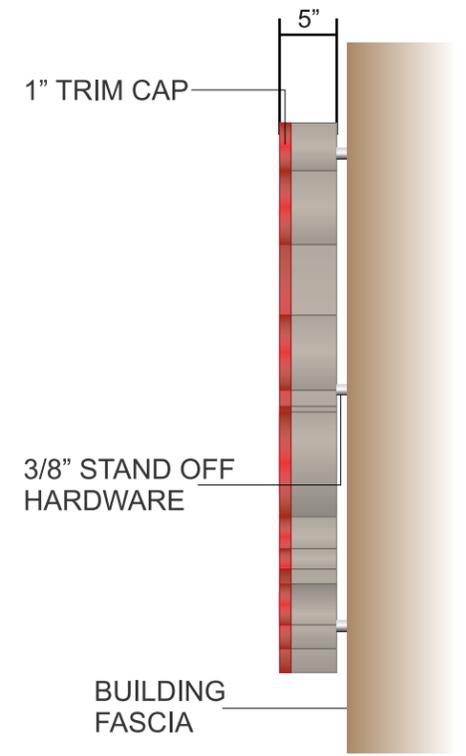


AREA: 37.66 SQ. FT.
AREA: 22.49 SQ. FT.
8 STRAIGHT LINES

A C NEW 4'-0" ILLUM. "CHICK-FIL-A" CHANNEL LETTERS SIGN

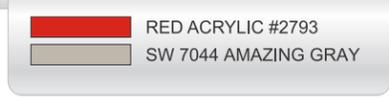


.040 ALUMINUM STIFF-ARM SUPPORT REVEALS PAINTED TO MATCH MOUNTING SURFACE COLOR



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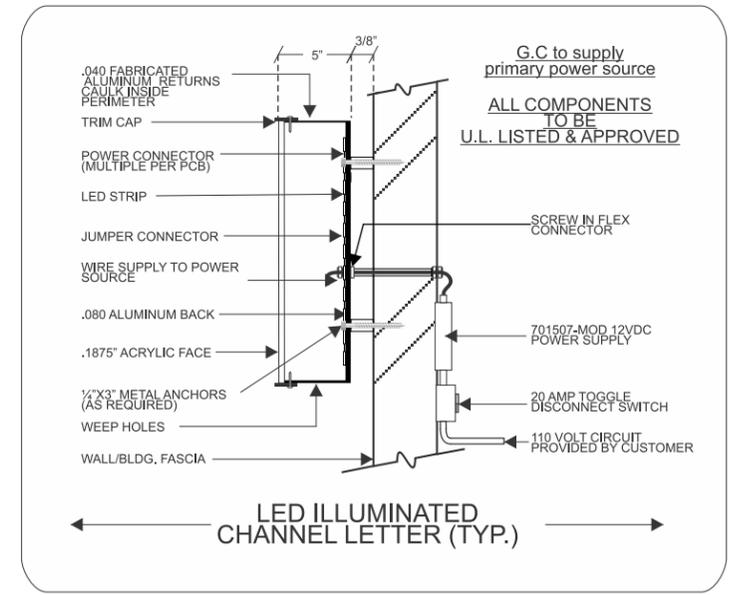
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INSTALLER SHALL VERIFY THAT FASTENERS CHOSEN ARE SUITABLE WITH WALL CONDITIONS



CHICK-FIL-A S/F LED ILLUMINATED CHANNEL LETTERS

SCALE: 1/2" = 1'-0"

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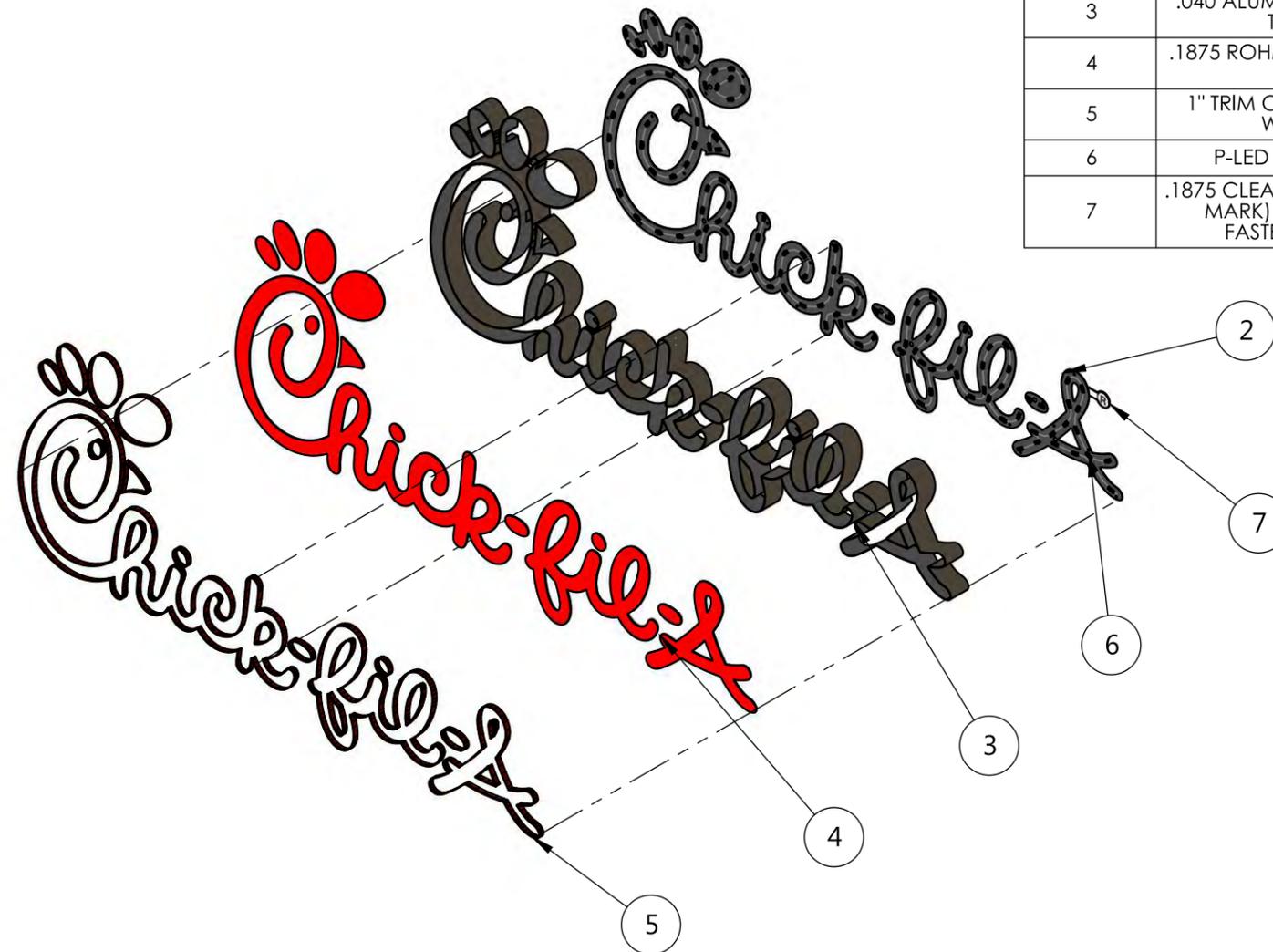
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25726
R12

ITEM NO.	DESCRIPTION	QTY.
1	#8 ALUM PAN-HEAD SCREWS	AR
2	.080 ALUM BACKS	1
3	.040 ALUM RETURNS (STAPLED TO BACKS)	1
4	.1875 ROHM&HAAS #2793 RED ACRYLIC	1
5	1" TRIM CAP (ADHERED VIA WELD ON 3)	1
6	P-LED PL-FS-RD-P LEDs	1
7	.1875 CLEAR LEXAN FLAG (REG. MARK) MECHANICALLY FASTENED TO BACK	1



CHANNEL LETTERS (exploded view)

SCALE: NTS

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Specifications:

CABINETS: FABRICATED .080 ALUMINUM 8" DEEP, WITH ALUMINUM ANGLE FRAME CABINET PAINTED DARK BRONZE.

FACES: ALUMINUM PAN FACE WITH WHITE #7328 ACRYLIC WITH APPLIED FIRST SURFACE 3M RED #3630-53 TRANSLUCENT VINYL BACKED UP

POST: 2"X2" SQUARE STEEL TUBE POLE WITH .080 BREAK FORMED POLE COVER PAINTED DARK BRONZE.

ILLUMINATION: INTERNAL F30T8 CW/HO FLUORESCENT LAMPS

SWITCH: COVERED DISCONNECT SWITCH

NOTE: TRY TO KEEP DIRECTIONALS 5'-0" FROM CURBS WHEREVER POSSIBLE TO INSURE VEHICLES WILL NOT HIT THEM.

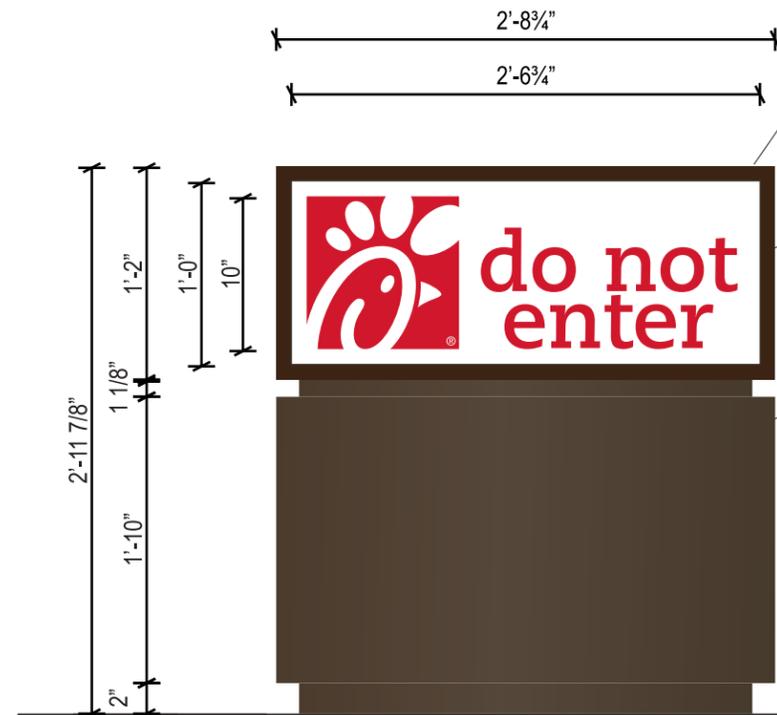
ALL COMPONENTS TO BE U.L. APPROVED



E NEW D/F ILLUM. DIRECTIONAL SIGN



F NEW D/F ILLUM. DIRECTIONAL SIGN

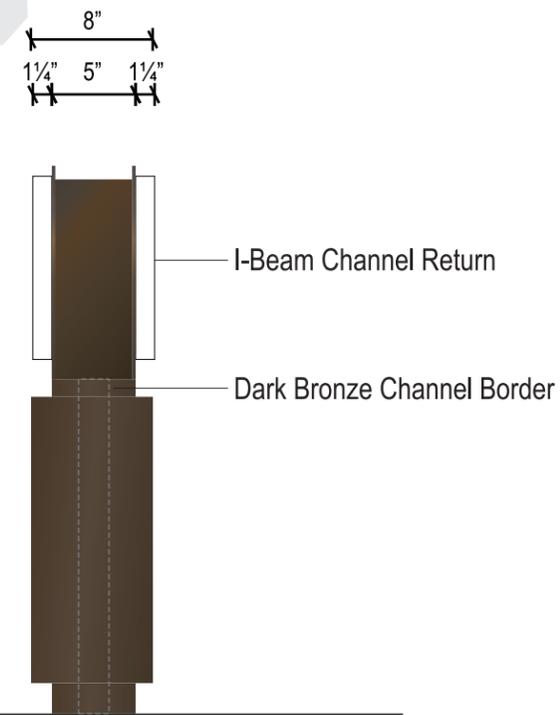


Fabricated Aluminum Sign Cabinet Internally illuminated w/ T12/CW/ HO fluorescent lamps/ ballast (@10" O.C.) Cabinet face and returns painted Spraylat Mark 1 (Satin White).

Routed aluminum face (White) backed w/ #7328 white acrylic and applied 230-53 Cardinal Red Translucent vinyl film

Fabricated aluminum base skirt painted "Dark Bronze" 3.18 sq ft

Grade



CHICK-FIL-A - NEW D/F ILLUMINATED DIRECTIONAL SIGNS

SCALE: 1" = 1'-0"

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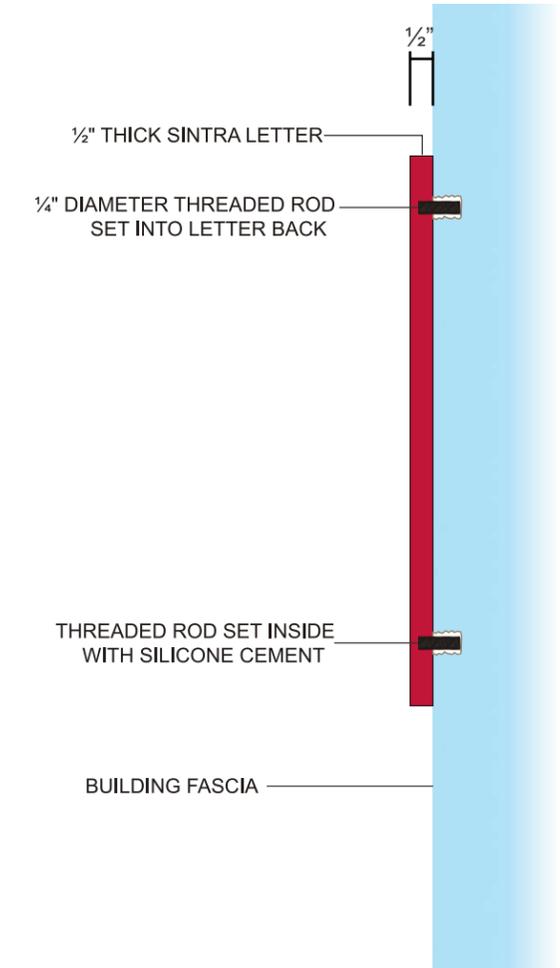
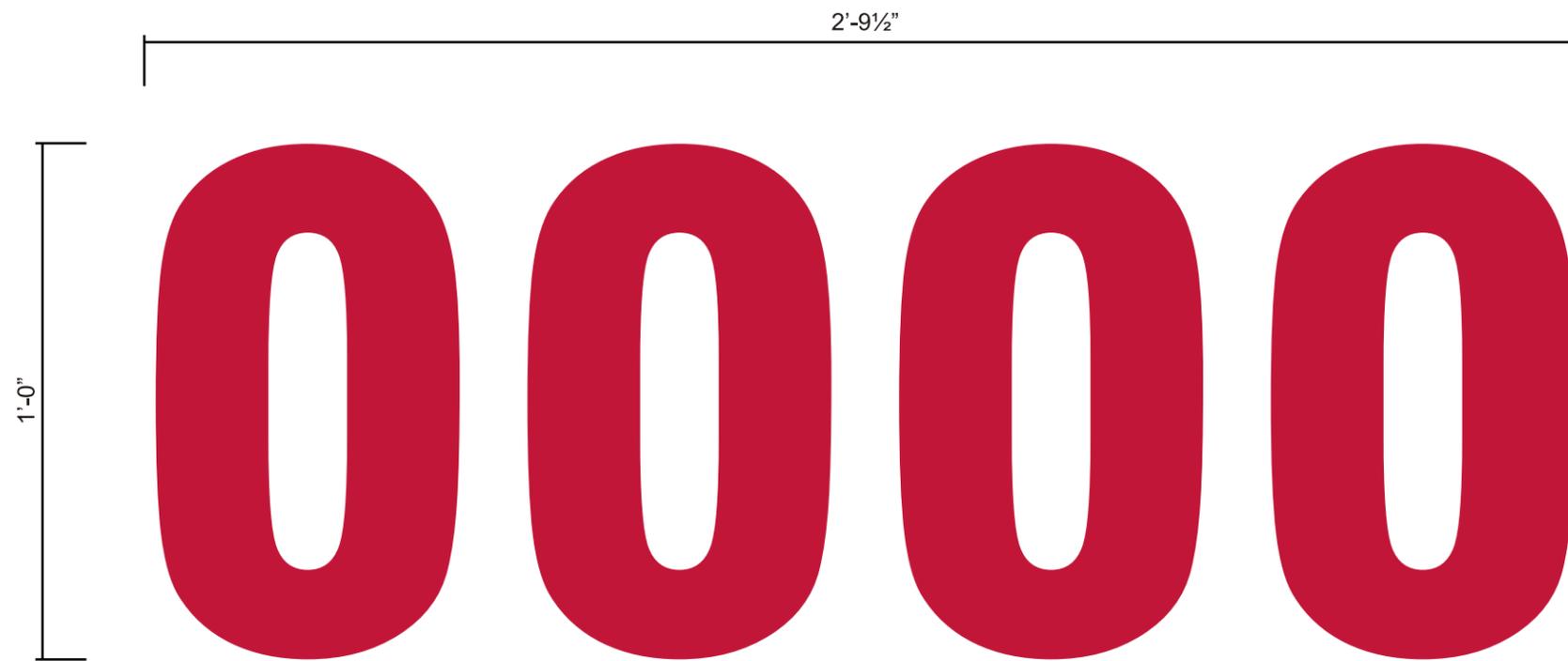
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SPECIFICATIONS:

NUMERALS: TO BE 1/2" THICK FLAT-CUT NON-ILLUMINATED SINTRA NUMERALS WITH FACES AND RETURNS EDGES TO BE PAINTED MATHEWS RED MP 10252.

MOUNTING: NUMERALS TO BE FLUSH MOUNTED TO FASCIA WITH THREADED ROD INTO LETTER BACKS & SET INTO PRE-DRILLED HOLES WITH SILICONE.



NEW SINTRA ADDRESS NUMERALS

NEW SINTRA NON-ILLUMINATED ADDRESS NUMERALS

SCALE: 3" = 1'

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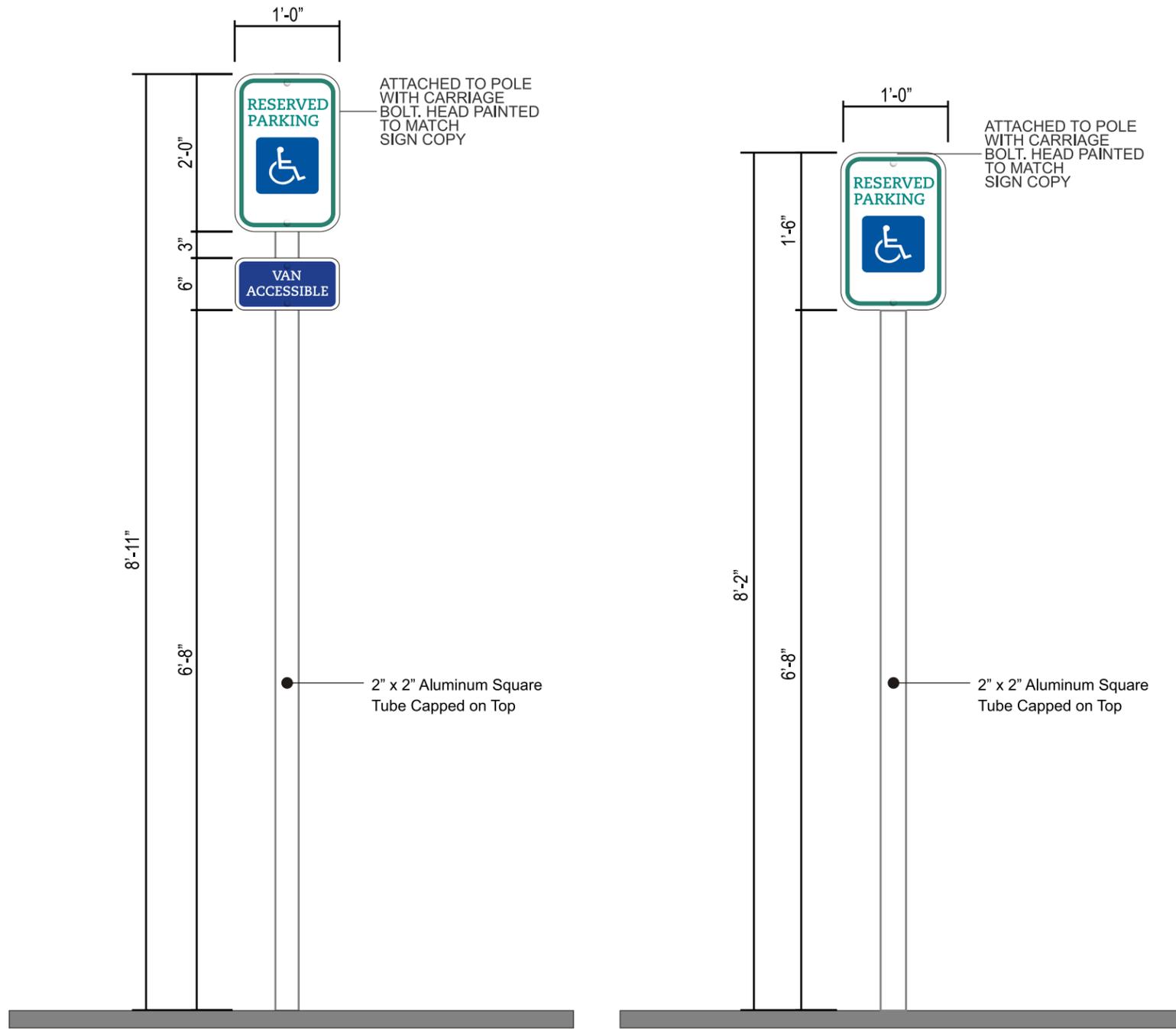
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VSCO
 ELECTRONIC SIGNS

SPECIFICATIONS:

- PANELS: TO BE .080 ALUMINUM PANELS PAINT TO MATCH GRIP GARD WHITE AND WITH 1" RADIUS CORNERS
- BACKGROUND: TO BE APPLIED BLUE AND WHITE REFLECTIVE VINYL
- GRAPHIC: HANDICAP LOGO TO BE APPLIED BLUE AND WHITE REFLECTIVE VINYL
- POSTS: 2" X 2" ALUMINUM SQUARE TUBE AND CAPPED ON TOP. PAINT MATHEWS WHITE.



H J NEW HANDICAP PARKING SIGNS

I K NEW HANDICAP PARKING SIGNS

NON-ILLUMINATED HANDICAPPED PARKING SIGN

SCALE: 3/4" = 1'

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Project: Chick-Fil-A #3207
Address: Hopyard & I-580, Pleasanton, CA
Phone: _____ **Account Mgr.:** S. Rosenbloom
Designer: Duffy, S. **Scale:** Noted **Date:** 07/06/2013

Client Approval:

Date: _____

APPROVED & RELEASED FOR CONSTRUCTION

 Salesman Date

Revisions:

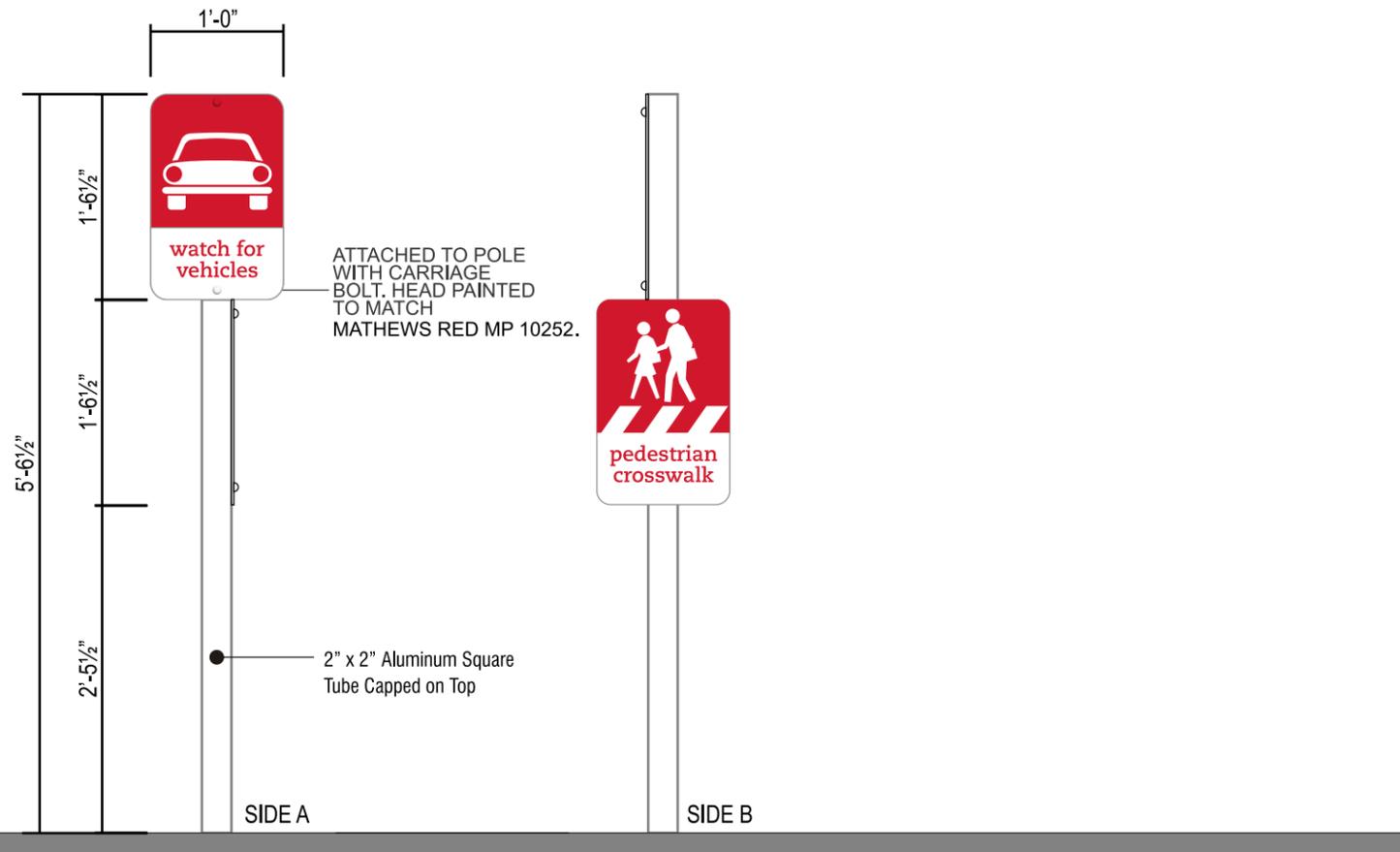
07/28/13 SD: Add city entry sign	04/25/14 SD: Change flag height
08/28/13 SD: Change D to be channel letters	06/06/14 SD: Add 'C' height on 'S' and 'F'
10/08/13 SD: Change elev/site plan, change south to rd update dir	06/11/14 SD: Add banner, add specs to signs and flag
11/27/13 SD: Update drawings and remove preview board	07/17/14 SD: Change sign size and location site plan and elev.
01/07/14 SD: Change elevations	
04/10/14 SD: Change wall sign, remove wall sign, relocate signs, update	
04/19/14 SD: Remove post, add bc, change ele	
04/19/14 SD: Add pedestrian sign	

Drawing Number
25726
 R12



SPECIFICATIONS:

- BACKGROUND: BACKGROUND TO BE APPLIED RED REFLECTIVE VINYL 3M 680-82.
- PANELS: TO BE .080 ALUMINUM PANELS WITH 1" RADIUS CORNERS AND PAINT MATHEWS WHITE.
- GRAPHIC: TO BE APPLIED WHITE REFLECTIVE GRAPHIC 3M 680-10.
- POSTS: 2" X 2" ALUMINUM SQUARE TUBE AND CAPPED ON TOP. PAINT MATHEWS WHITE



D L M NEW PEDESTRIAN SIGNS

NON-ILLUMINATED PEDESTRIAN CROSSWALK AND VEHICLE CROSSING SIGNS

SCALE: 3/4" = 1'

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National Sign & MARKETING CORPORATION
 13580 5th St., Chino, CA 91710
 Tel 909.591.4742 Fax 909.591.9792
 e-mail : sales @nsmc.com
 Lic# 745030 - Exp. 01/31/14

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Address: Hopyard & I-580, Pleasanton, CA
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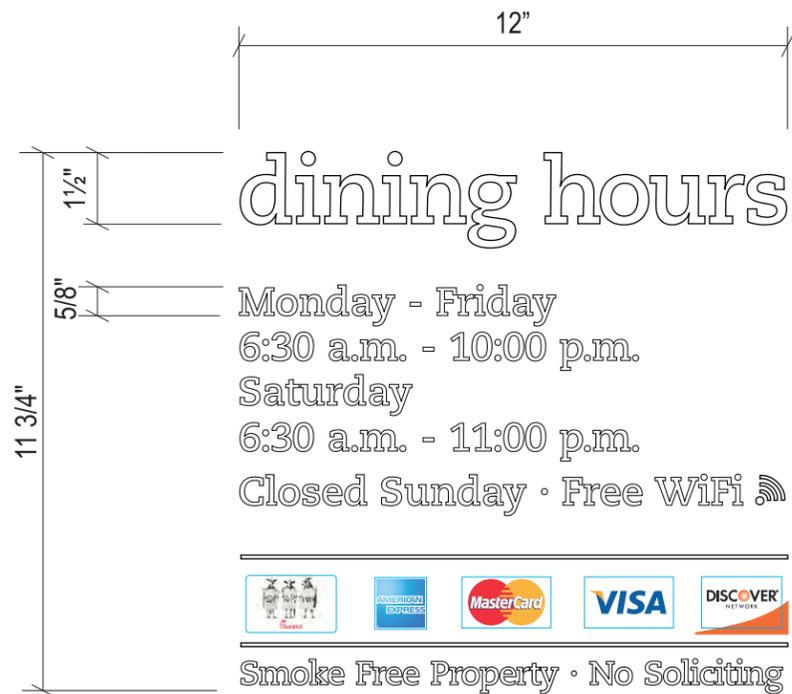
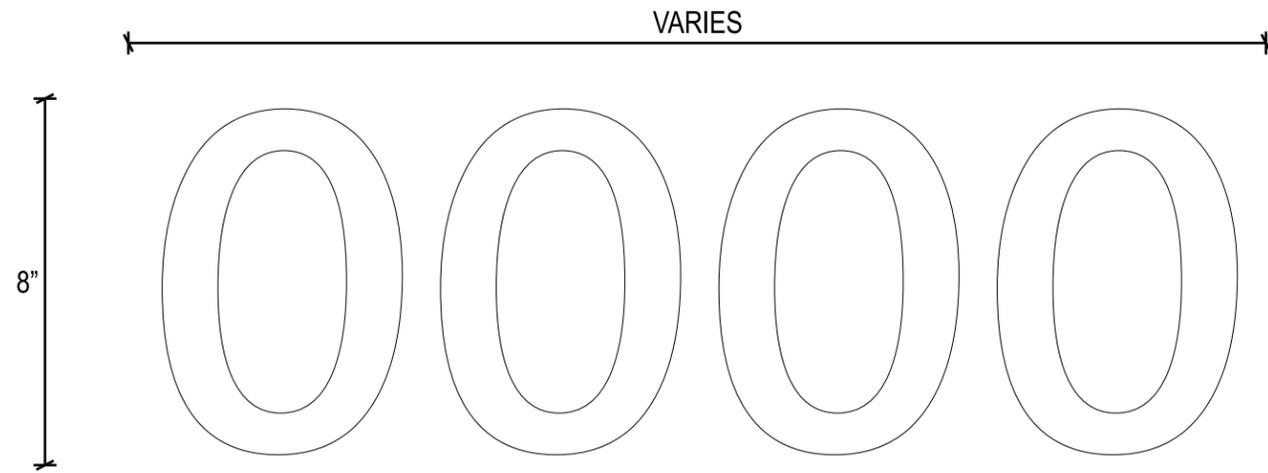
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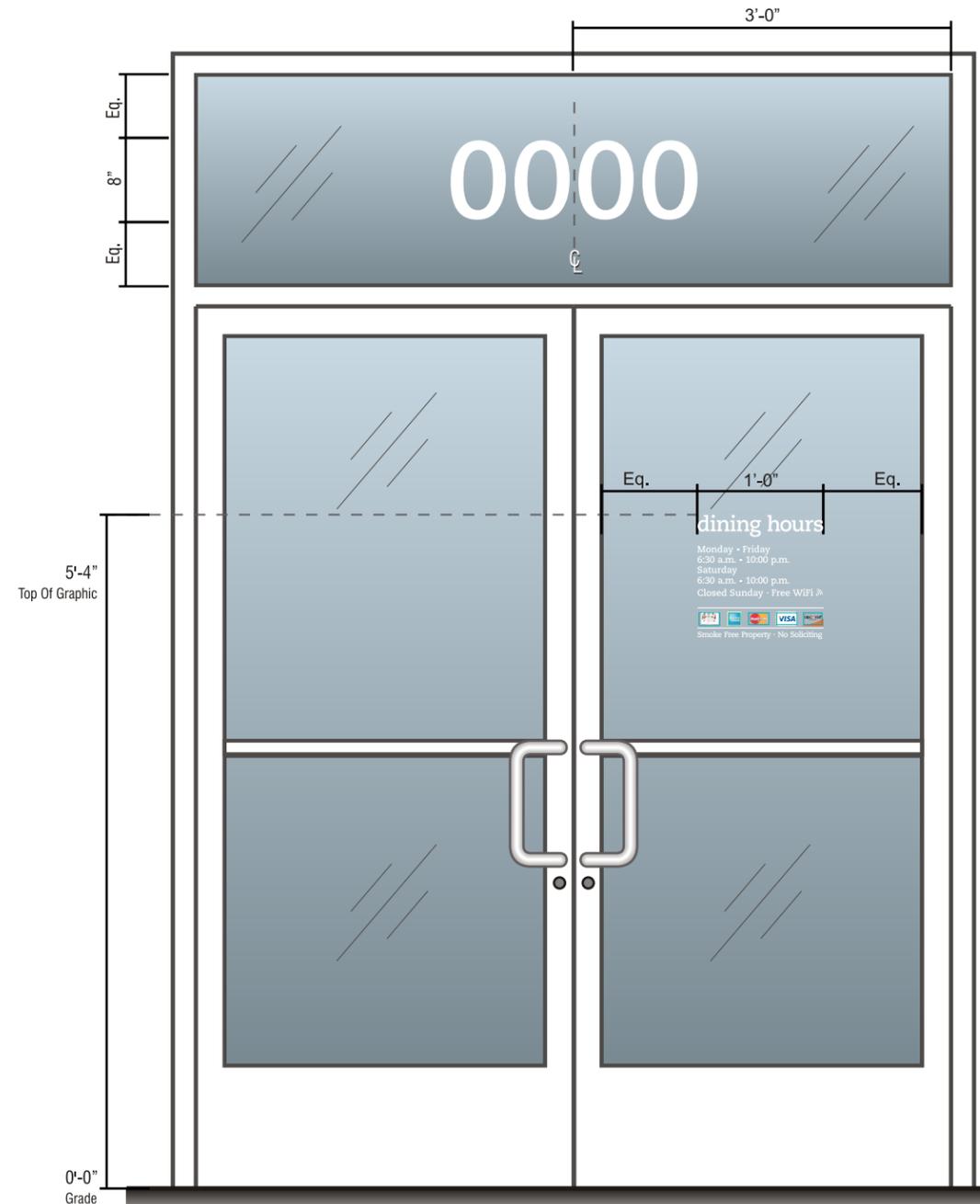
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Drawing Number
25726
 R12





STORE HOURS TO BE VERIFIED



DOOR ELEVATION
SCALE: 3/4" = 1'

NEW WINDOW VINYL

WHITE DOOR WINDOW VINYL APPLIED SECOND SURFACE

SCALE: 3" = 1'

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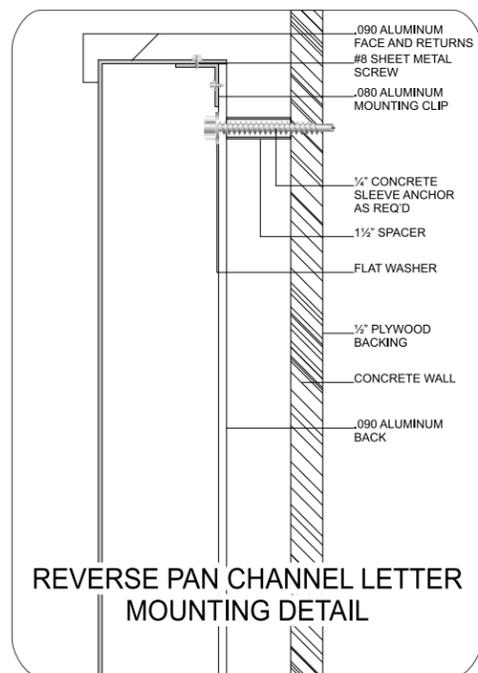
TO BE DETERMINED

TO BE DETERMINED

P L E A S A N T O N

Specifications:

COPY: 3" DEEP REVERSED ALUMINUM CHANNEL LETTERS. FACE AND RETURNS TO HAVE BRUSHED ALUMINUM FINISH. SIGN TO BE PINNED OFF EXISTING WALL 1/2".
ILLUMINATION: NON-ILLUMINATED



NON-ILLUM. CITY ENTRY SIGN

CITY ENTRY SIGN

SCALE: NTS

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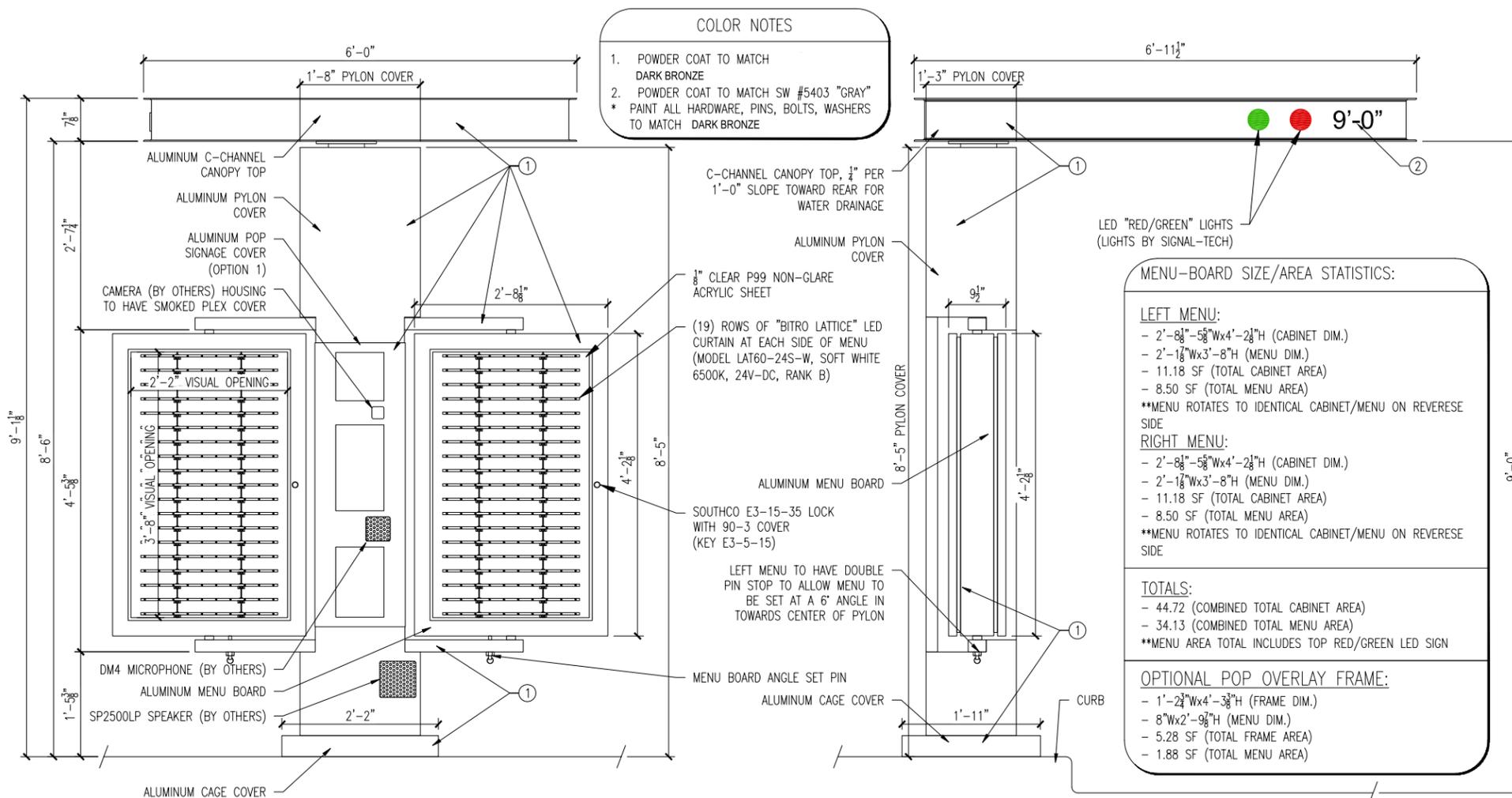
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 Salesman _____ Date _____

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3 4 DRIVE-THRU CANOPY

DRIVE THRU CANOPY WITH MENU BOARD (TO BE FABRICATED BY OTHERS)

SCALE: 3/8" = 1'-0"

NOTE: ALL WORK TO COMPLY WITH 2007 CALIFORNIA ELECTRICAL CODE (CEC)

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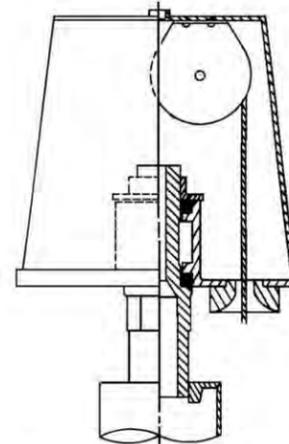
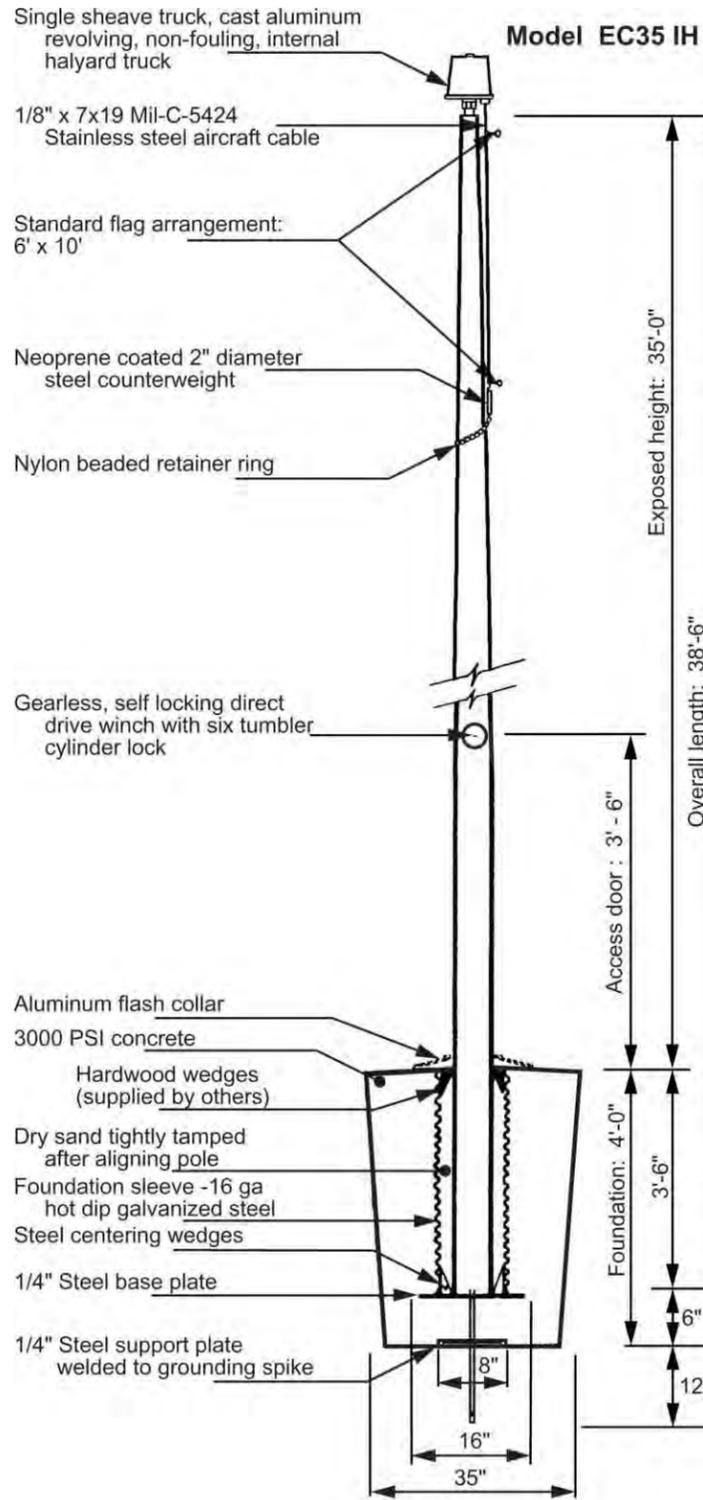
 Salesman Date

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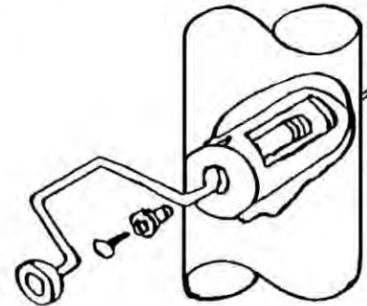
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Revolving non-fouling internal halyard truck, cast aluminum body, 26 stainless steel ball bearings, and 2-1/2" diameter plated steel sheave.

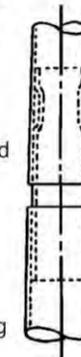


Winch Detail

All shafts with overall length of more than 38'-6" are shipped in two sections.

Each section matched marked for field assembly. Exposed portion of jam sleeve must be **well lubricated** prior to assembly.

1-1/2" maximum shop gap allowed for field fitting (ram for tight joint)



5 FLAG POLE

FLAG POLE (INTERNAL HALYARD)

SCALE: NTS

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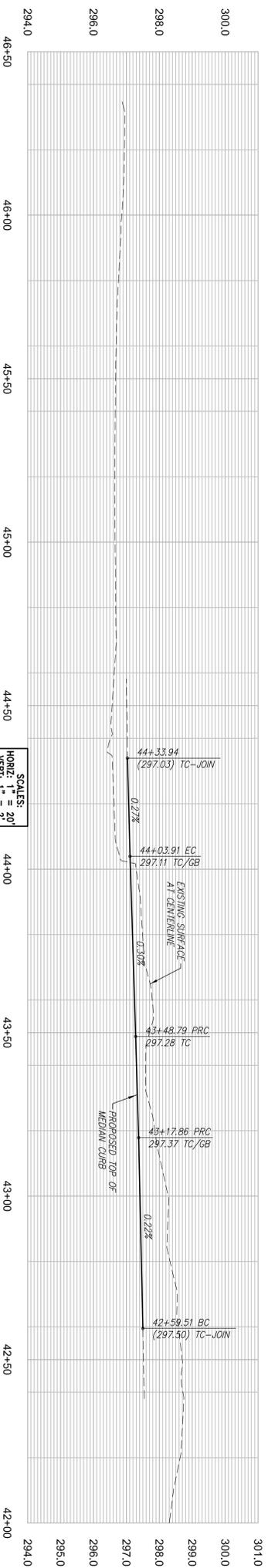
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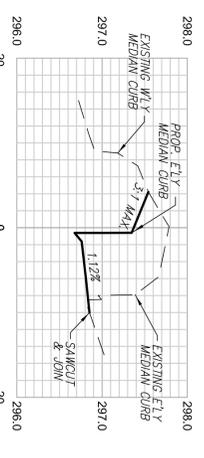


CITY OF PLEASANTON, CALIFORNIA
PLANS FOR

HOPYARD ROAD MEDIAN IMPROVEMENT PLAN



SCALES:
HORIZ. 1" = 20'
VERT. 1" = 2'

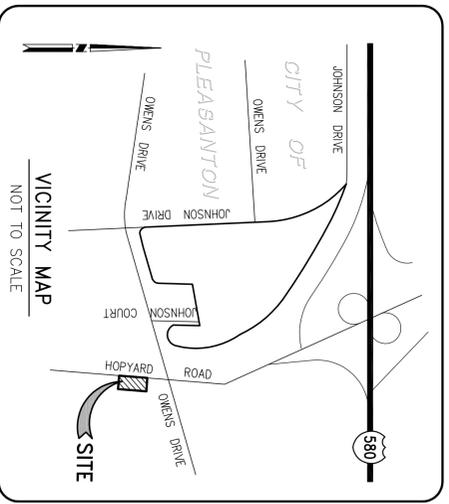


SECTION A-A
HORIZ. 1" = 10'
VERT. 1" = 1'

- DISPOSITION NOTES**
- 1 PROTECT IN PLACE.
 - 2 RELOCATE BY CONTRACTOR.
 - 3 REMOVE BY CONTRACTOR.

- CONSTRUCTION NOTES**
- 1 SAWCUT EXISTING PAVEMENT, CONCRETE, CURB & GUTTER, LANDSCAPING, ETC TO THE EXISTING SHOWN.
 - 2 CONSTRUCT CONCRETE MEDIAN CURB AND GUTTER PER CITY OF PLEASANTON STANDARD DETAIL No. 122.
 - 3 PAVE WITH 4-INCH AC OVER 10-INCH AB.

** PAVEMENT DESIGN SECTIONS PER THE RECOMMENDATIONS OF THE SOILS ENGINEER.



GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY POINTS OF CONNECTION TO PIPES, INLETS, CURBS, GUTTERS, ETC. AND NOTIFY TROJAN AND ASSOCIATES OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. ALL WORK SHALL BE DONE IN STRICT CONFORMANCE WITH CURRENT CITY OF PLEASANTON AND SPPWC STANDARDS. WORK SHALL ALSO CONFORM TO APPLICABLE BUILDING CODES (CA BUILDING CODE, CA PLUMBING CODE, ETC.) AS INTERPRETED BY THE CITY OF PLEASANTON.
4. ALL CONTRACTORS PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM THEIR OPERATIONS, WHETHER OR NOT SHOWN ON THESE PLANS. EXISTING UNDERGROUND UTILITY LINE LOCATIONS WERE TAKEN FROM AVAILABLE RECORDS. OTHER UTILITIES MAY EXIST THAT ARE NOT FLOTTED HEREIN.
5. EXISTING UNDERGROUND UTILITIES ARE TO BE RELOCATED AS REQUIRED TO AVOID CONFLICT WITH PROPOSED STRUCTURES.
6. EXISTING PUBLIC UTILITY EASEMENTS IN CONFLICT WITH PROPOSED STRUCTURES ARE TO BE OBTAINED WITH THE APPROVAL OF THE UTILITY COMPANY. NEW EASEMENTS ARE TO BE GRANTED AT PROPOSED UTILITY LOCATIONS.
7. CALL UNDERGROUND SERVICE ALERT FOR UNDERGROUND LOCATIONS 48 HOURS BEFORE YOU DIG. (800) 422-4133.
8. THE CONTRACTOR SHALL RENEW OR REPLACE ANY EXISTING TRAFFIC STRIPING AND/OR PAVEMENT MARKINGS, WHICH DURING HIS OPERATIONS HAVE BEEN EITHER REMOVED OR THE EFFECTIVENESS OF WHICH HAS BEEN REDUCED.
9. THE CONTRACTOR SHALL COMPLY WITH THE SOILS REPORT (AND ADDENDA) FOR THIS PROJECT AND ALL RECOMMENDATIONS FROM THE SOILS ENGINEER.
10. ALL TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM AN ALTA/ACSM TITLE SURVEY DATED JUNE 18, 2013 BY TROJAN AND ASSOCIATES, INC.
11. ALL STORM DRAIN AND SEWER PIPE SHALL BE PLACED BEGINNING AT THE DOWNSTREAM POINT OF CONNECTION AND CONTINUING TO THE UPSTREAM TERMINUS. PIPE HIGHLIGHTS SHALL BE CONTINUOUS. EXPLANATIONS FROM THIS SEQUENCE WILL NOT BE PERMITTED FOR CHANGE IN PIPE SIZE OR MATERIAL. RECORDS, SHALL BE OBTAINED AND PROVIDED TO TROJAN AND ASSOCIATES PRIOR TO CONSTRUCTION.
12. ALL IMPROVEMENTS BEYOND THE LIMITS OF GRADING ARE TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE.
13. ALL IMPROVEMENTS BEYOND THE LIMITS OF GRADING ARE TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE.

BENCHMARK

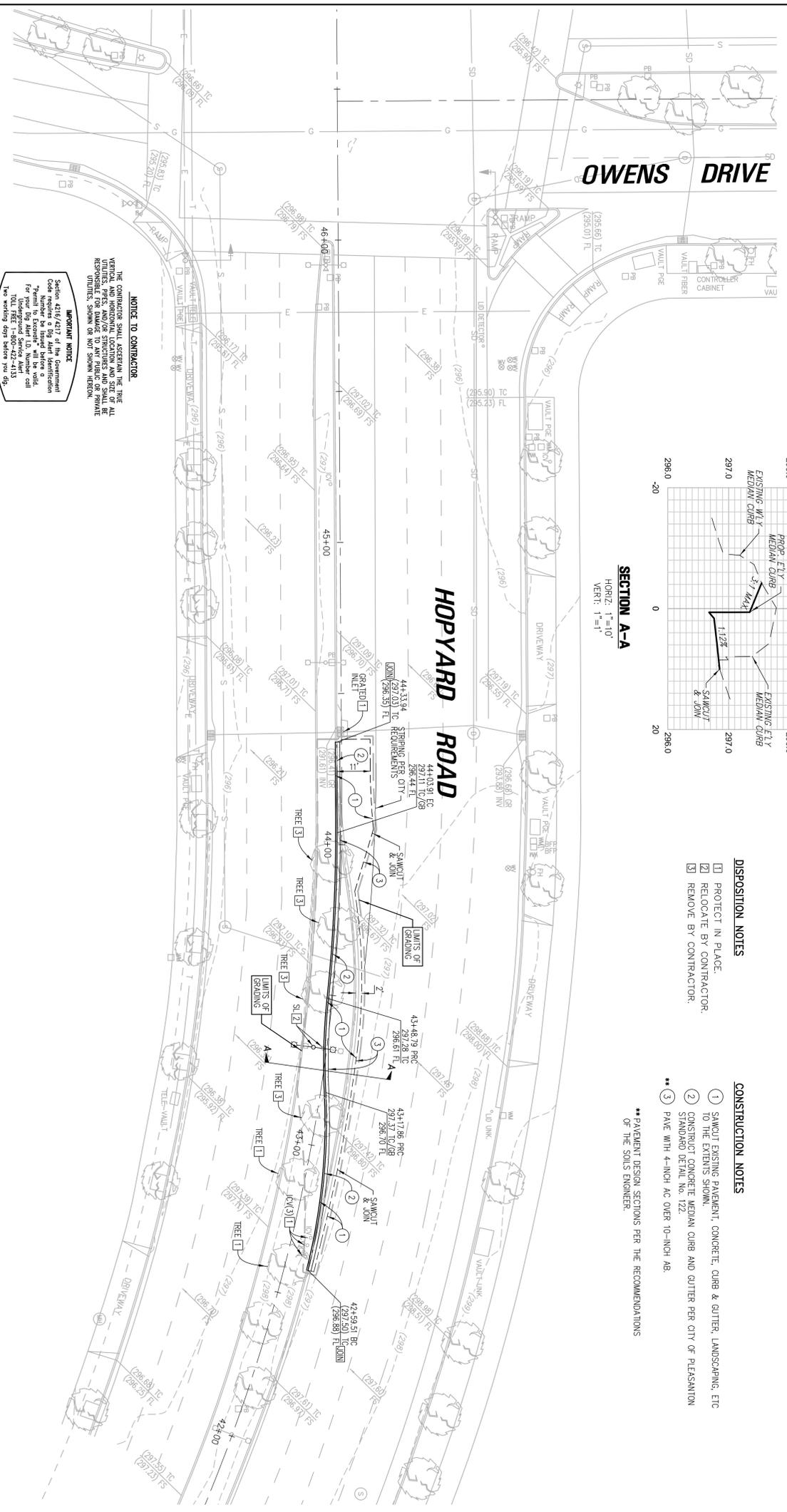
STANDARD U.S.C. & G.S. BROWN DISK IN THE CENTERLINE NORTHEASTERLY SIDEWALK OF ARROYO WOOD/HOPYARD ROAD BRIDGE, 15' NORTHWEST OF SOUTHWEST CORNER OF BRIDGE, SHANDED C-972 AND RESET 1987. ELEVATION = 300.34 FEET (AOL 1987)

BASIS OF BEARINGS

THE BEARING NORTH 15°12'42" WEST FOR THE CENTERLINE OF JOHNSON DRIVE AS SHOWN ON PARCEL MAP NO. 7070, FILED IN BOOK 228, PAGES 1-5 OF RECORDS OF DEEDS OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

CENTERLINE STATIONING NOTE

CENTERLINE STATIONING SHOWN HEREON WAS DERIVED FROM CALTRANS RIGHT-OF-WAY RECORD MAP R-60-32A AND R-60-33 DATED AUGUST 1, 2002.



NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL ASSESS THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES, WHETHER OR NOT SHOWN HEREON.

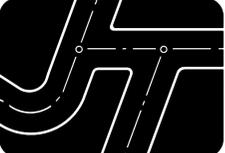
IMPORTANT NOTICE

Section 4216/4217 of the Government Code requires a bid advertisement "Permit to Excavate" will be void. For information, please call the City of Pleasanton Public Works Department at (925) 799-3000. Two working days before bid day.



THIS PLAN IS:
PRELIMINARY
(NOT FOR CONSTRUCTION)

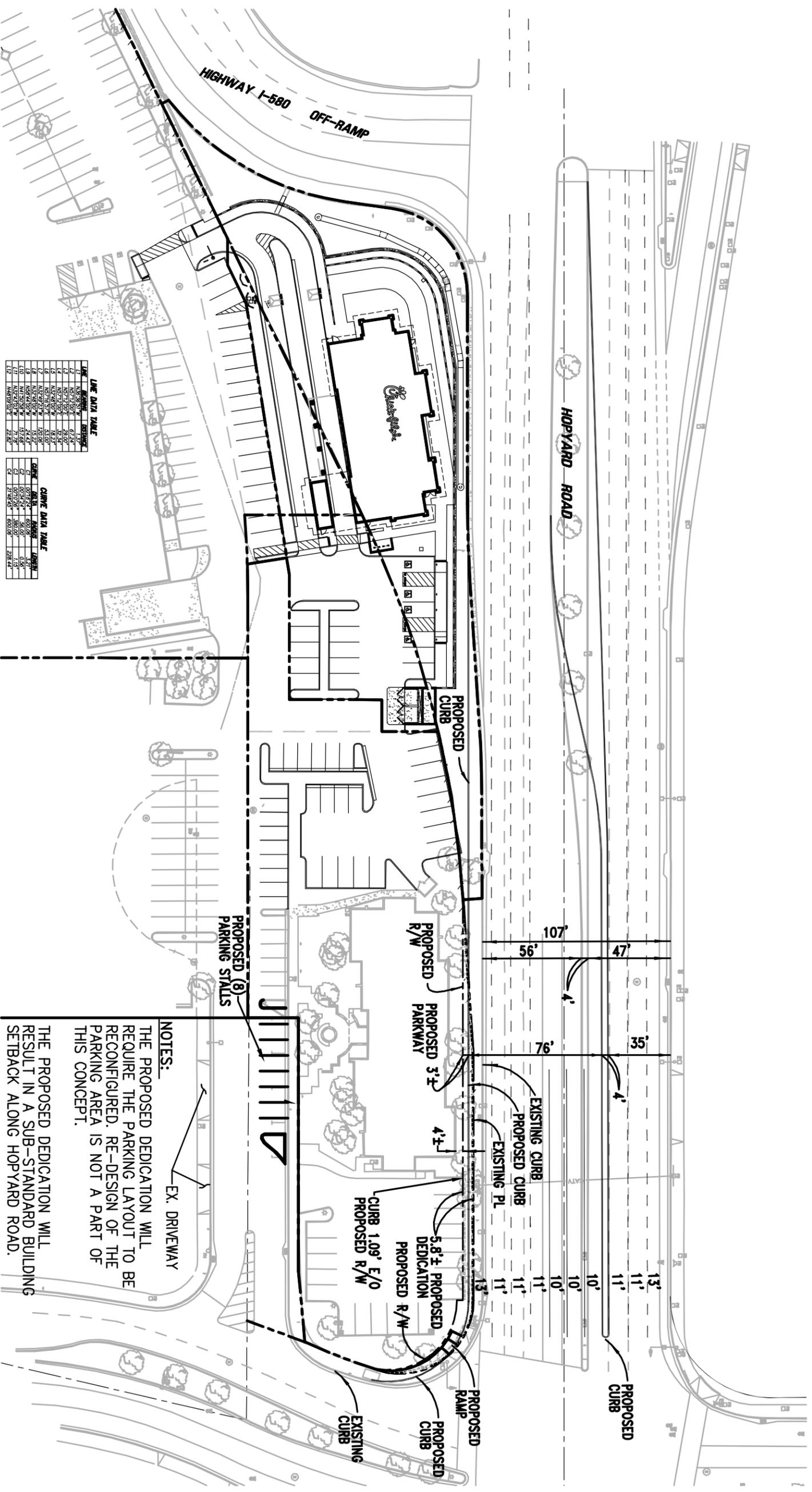
MEDIAN PLAN & PROFILE
HOPYARD ROAD
CITY OF PLEASANTON, ALAMEDA COUNTY, CALIFORNIA



Prepared by:
Joseph C. Truxaw and Associates, Inc.
Civil Engineers and Land Surveyors
265 S. Anita Dr., Suite 111, Orange, CA. 92868 (714)935-0265 fax:(714)935-0106

NO.	REVISIONS	DATE

CITY PROJECT #	
DATE	04/17/14
DRAWN BY	BHL
CHECKED BY	SMH
JOB NO.	CFA12016
SHEET NO.	1
OF 1 SHEETS	



LINE DATA TABLE

LINE	DESCRIPTION	DISTANCE
L1	N65°55'30"W	61.25'
L2	N65°55'30"W	28.25'
L3	N67°10'00"E	28.25'
L4	N67°10'00"E	19.25'
L5	N67°10'00"E	19.25'
L6	N67°10'00"E	19.25'
L7	N67°10'00"E	19.25'
L8	N67°10'00"E	19.25'
L9	N67°10'00"E	19.25'
L10	N67°10'00"E	19.25'
L11	N67°10'00"E	19.25'
L12	N67°10'00"E	19.25'

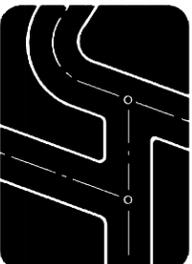
CURVE DATA TABLE

CURVE	START	END	LENGTH
C1	00°15'24"	02°00'00"	13.00'
C2	02°00'00"	36.00°	13.00'
C3	36.00°	00°00'00"	13.00'
C4	21°46'45"	00°00'00"	228.41'

NOTES:
 THE PROPOSED DEDICATION WILL REQUIRE THE PARKING LAYOUT TO BE RECONFIGURED. RE-DESIGN OF THE PARKING AREA IS NOT A PART OF THIS CONCEPT.
 THE PROPOSED DEDICATION WILL RESULT IN A SUB-STANDARD BUILDING SETBACK ALONG HOPYARD ROAD.

PREPARED BY:

PREPARED FOR:



Prepared by:
Joseph C. Truxaw and Associates, Inc.
 Civil Engineers and Land Surveyors
 265 S. Anhe Dr., Suite 111, Orange, CA 92668 (714)935-0265 fax: (714)935-0106



5200 Buffington Rd. Atlanta Georgia, 30349-2998

CONCEPTUAL STREET EXHIBIT
 S.W.C. HOPYARD ROAD & I-580 OFF-RAMP
 PLEASANTON, CA



DATE: 05-07-14
 JOB #: CFA12016
 SHEET: 1 OF 1
 SCALE: 1"=60'