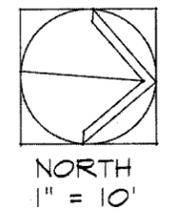


NOTE: WALKWAY & DRIVEWAY BASE TO BE 25% MIN RECYCLED CONTENT AGGREGATE PER BGI

- SITE NOTES**
- FOR DETAILED GRADING INFORMATION REF. GRADING PLANS PROVIDED BY OTHERS
 - FOR DETAILED LANDSCAPING INFORMATION REF. LANDSCAPING PLANS PROVIDED BY OTHERS
 - ALL DOWNSPOUTS TO BE CONNECTED W/ MIN 4" DIA SOLID DRAIN LINES AND CONNECTED TO THE STORM DRAIN SYSTEM
 - PROVIDE 3 AREA DRAINS WITHIN THE BUILDING FOOTPRINT, CONNECTED BY A FRENCH DRAIN THEN CONNECTED WITH MIN 4" SOLID LINES TO STORM SYS
 - FIRE DEPT ACCESS MUST BE PROVIDED & MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION

WEST RUBY HILL DRIVE

SITE PLAN

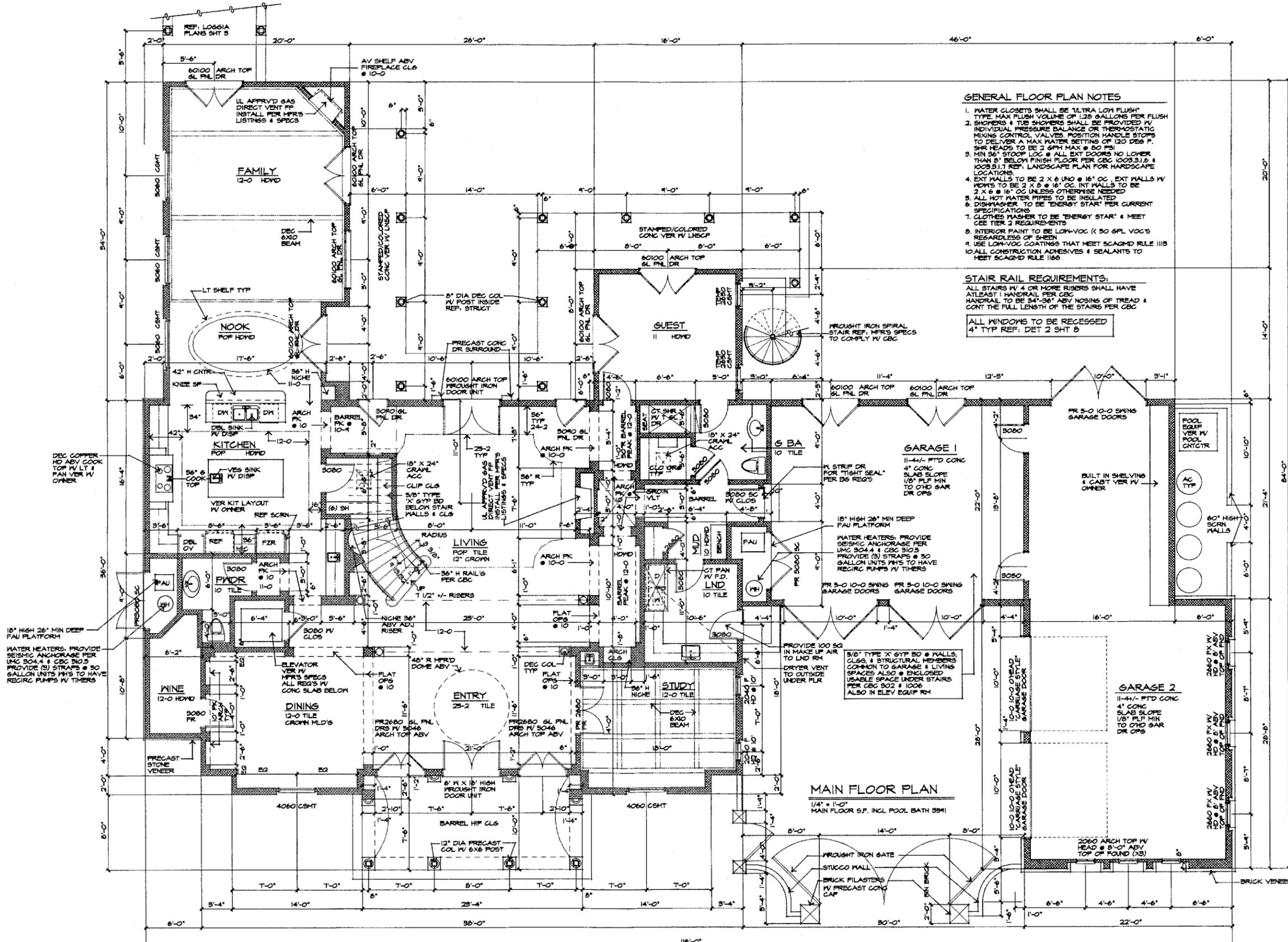


REVIEWED
 DATE
 PROJECT

REDDY HOME
 3737 W. RUBY HILL DR
 LOT 2, TRACT
 PLEASANTON, CA

1 JULY '16
 2 AUG '16

SHEET
 0



GENERAL FLOOR PLAN NOTES

1. WATER CLOSETS SHALL BE ULTRA LOW FLUSH TYPE. MAX FLUSH VOLUME OF 1.25 GALLONS PER FLUSH.
2. SHOWERS & TUB SHOWERS SHALL BE PROVIDED W/ INDIVIDUAL PRESSURE BALANCE OR THERMOSTATIC MIXING CONTROL VALVES. POSITION HANDLE STOPS TO DELIVER A MAX WATER SETTING OF 120 DEG F. SHW HEADS TO BE 2 GPM MAX @ 80 PSI.
3. MIN 3/4" STYCO LOG & ALL EXT DOORS NO LOWER THAN 5' BELOW FINISH FLOOR PER CBC 1003.3.1.5 & 1003.5.1.1. REF. LANDSCAPE PLAN FOR HARDSCAPE LOCATIONS.
4. EXT WALLS TO BE 2 X 6 UNO @ 16" OC. EXT WALLS W/ WINDOWS TO BE 2 X 6 @ 16" OC. INT WALLS TO BE 2 X 6 @ 16" OC UNLESS OTHERWISE NOTED.
5. ALL HOT WATER PIPES TO BE INSULATED.
6. DISHWASHER TO BE 'ENERGY STAR' PER CURRENT SPECIFICATIONS.
7. CLOTHES WASHER TO BE 'ENERGY STAR' & MEET CEE TIER 2 REQUIREMENTS.
8. INTERIOR PAINT TO BE LOW-VOC (< 50 GPM VOC'S REGARDLESS OF SHEEN).
9. USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 113.
10. ALL CONSTRUCTION ADHESIVES & SEALANTS TO MEET SCAQMD RULE 116B.

STAIR RAIL REQUIREMENTS:

ALL STAIRS W/ 4 OR MORE RISERS SHALL HAVE ATLEAST 1 HANDRAIL PER CBC. HANDRAIL TO BE 34"-36" ABV NOSING OF TREAD & CONT THE FULL LENGTH OF THE STAIRS PER CBC. ALL WINDOWS TO BE RECESSED 4" TYP REF: DET 2 SHT B.

MAIN FLOOR PLAN

1/4" = 1'-0"
 MAIN FLOOR S.P. INCL POOL BATH 9941

16" HIGH 26" MIN DEEP FAU PLATFORM.
 WATER HEATERS: PROVIDE SEISMIC ANCHORAGE PER UMC 504.4 & CBC 510.5. PROVIDE (3) STRAPS @ 50 GALLON UNITS. PMS TO HAVE RECIRC PUMPS W/ TIMERS.

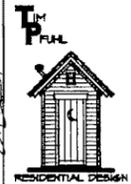
5/8" TYPE XC GYP SD @ WALLS, CLSS, & STRUCTURAL MEMBERS COMMON TO GARAGE & LIVING SPACES ALSO @ ENCLOSED USABLE SPACE UNDER STAIRS PER CBC 502 & 1006 ALSO IN ELEV EQUIP RM.



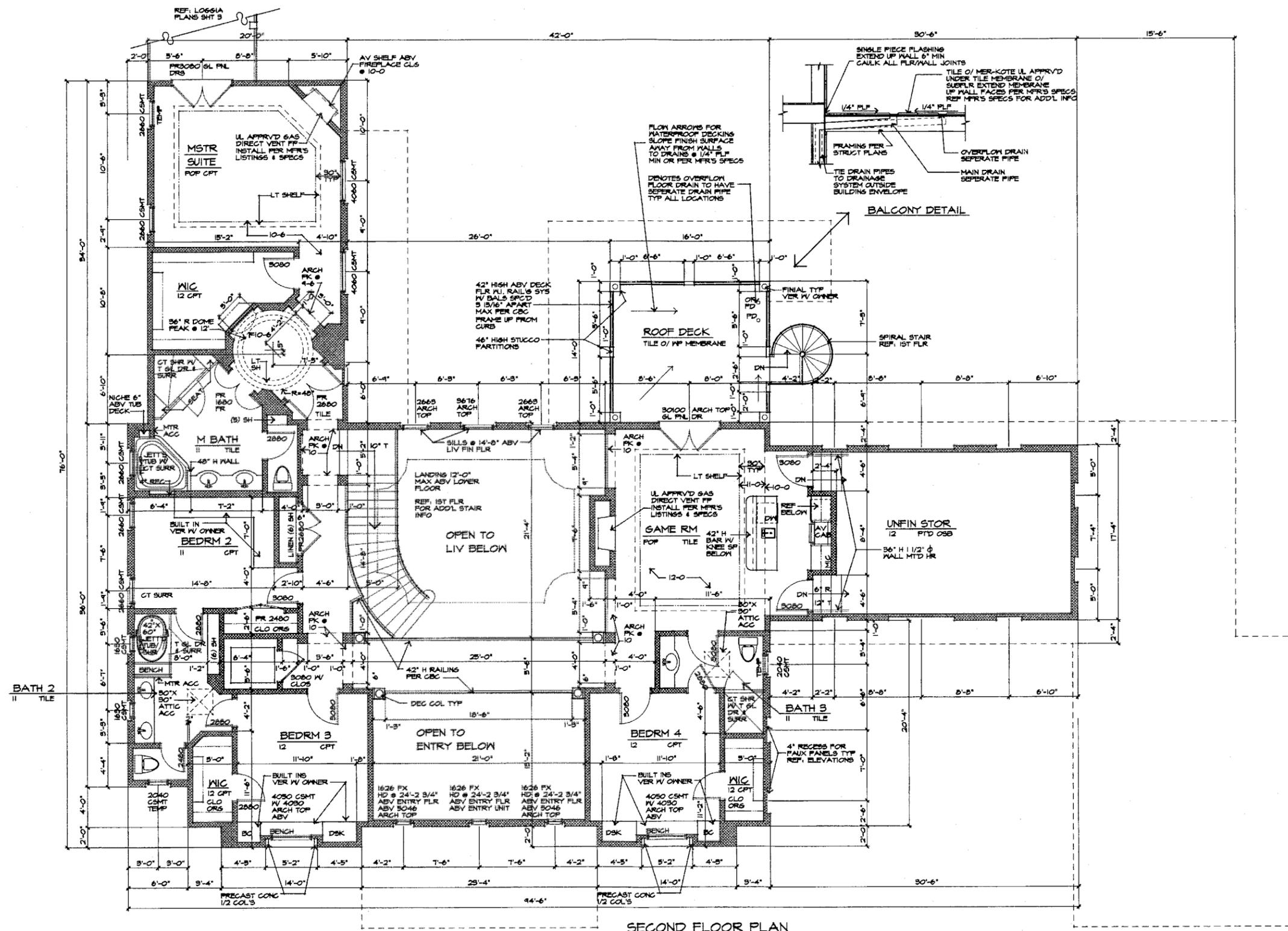
REDDY HOME
 3737 W. RUBY HILL DR
 LOT 2, TRACT
 PLEASANTON, CA

7 JULY 10
 2 AUG 2010
 PLAN CHECK

SHEET



RESIDENTIAL DESIGN
887 E. 400 S
LAYTON, UTAH 84041
PH. 801.384.4700



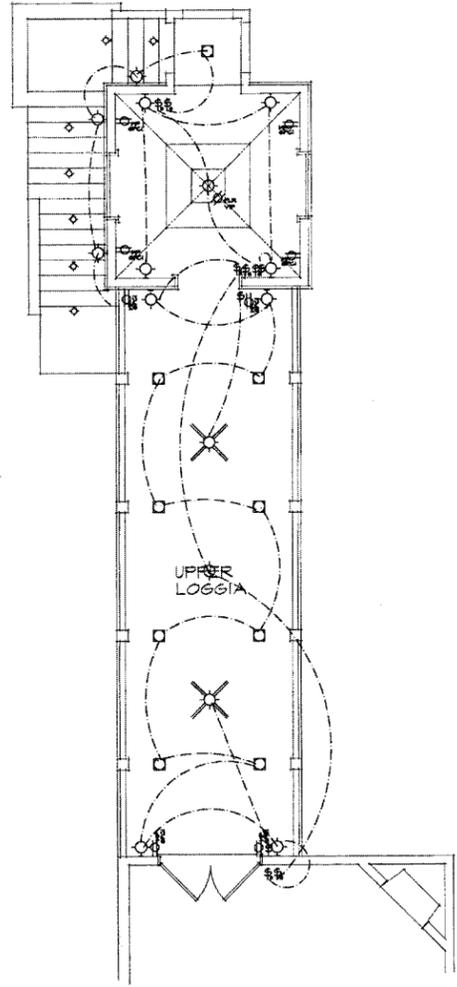
SECOND FLOOR PLAN
1/4" = 1'-0"
FIN S.F. 2446
UNFIN S.F. 456

REVISIONS
1.00
08/02/2010

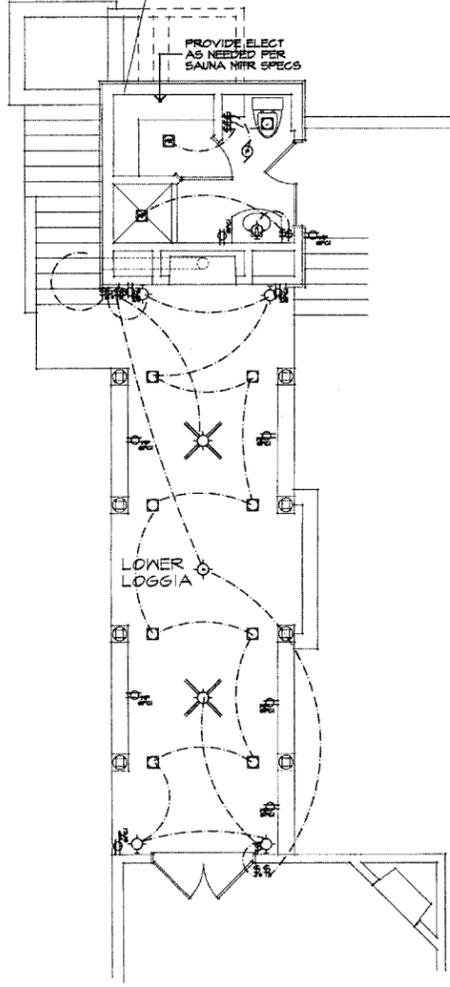
REDDY HOME
3787 W. RUBY HILL DR
LOT 2, TRACT
PLEASANTON, CA

7 JULY 10
2 AUG 2010
PLAN CHECK

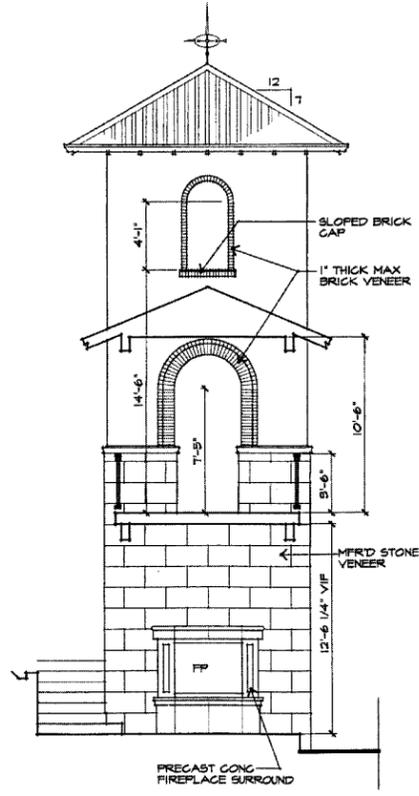
SHEET
2



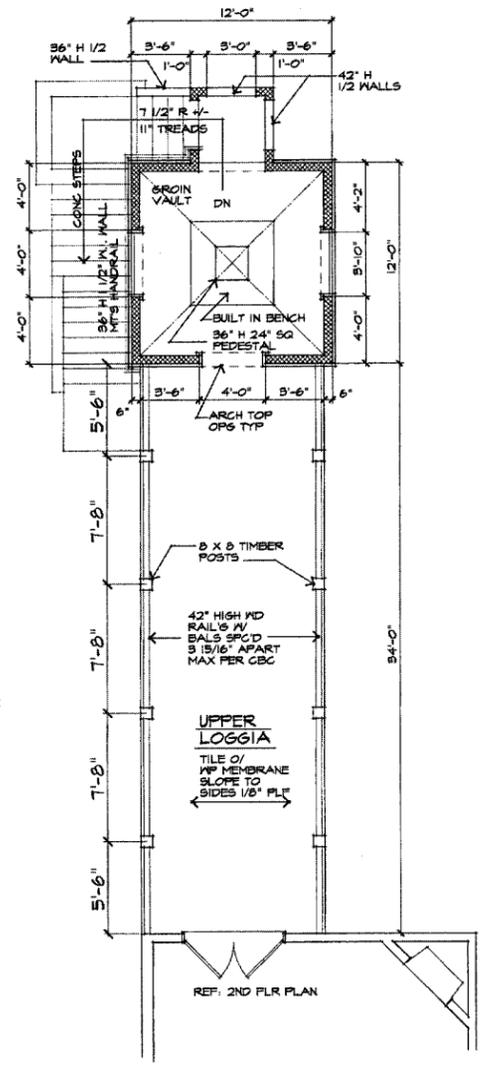
2ND LOGGIA/TOWER ELECT



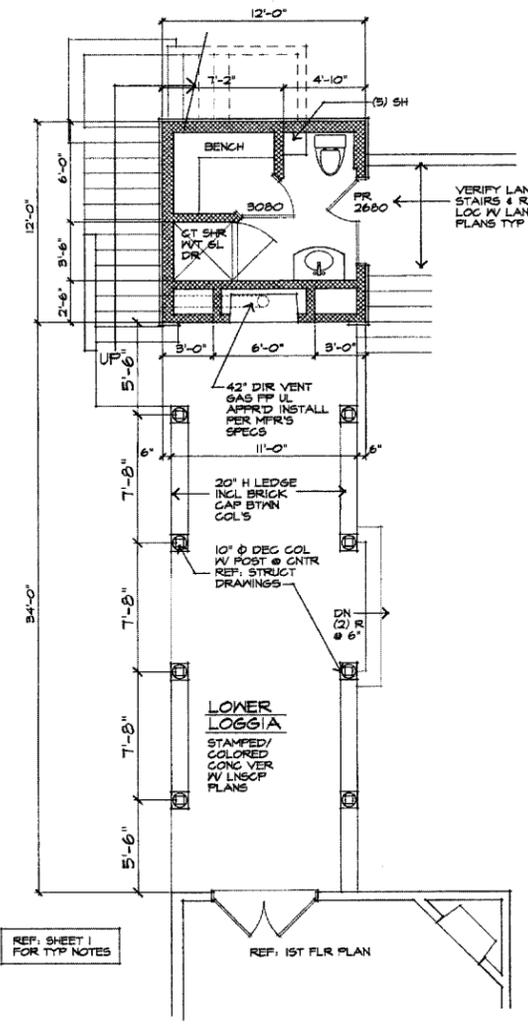
1ST LOGGIA/POOL BA ELECT



FIREPLACE/TOWER ENTRANCE
1/4" = 1'-0"



FLR 2 LOGGIA/TOWER PLAN
1/4" = 1'-0"

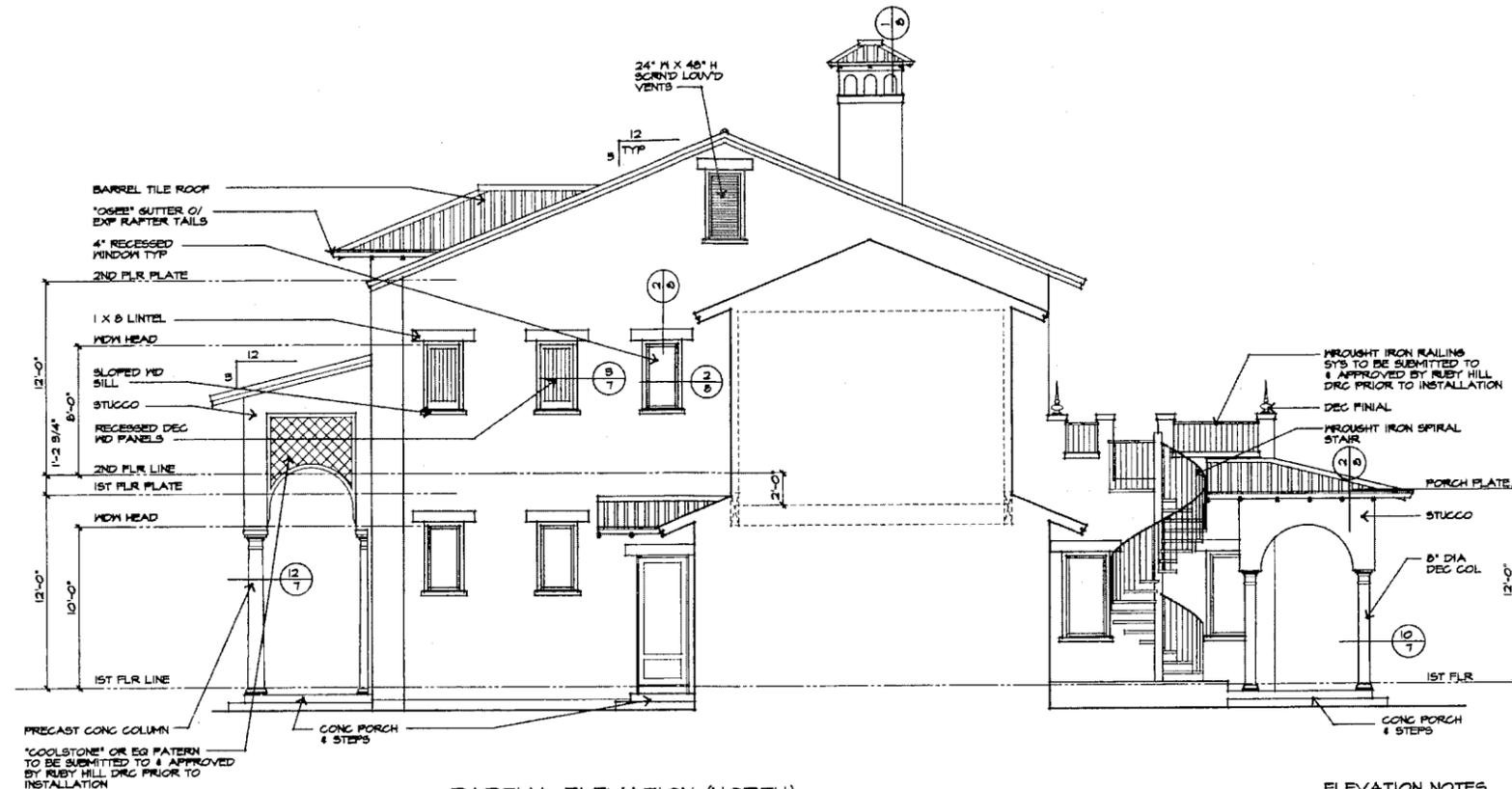


FLR 1 LOGGIA/POOL BATH PLAN
1/4" = 1'-0"



REDDY HOME
 3731 W. RUBY HILL DR
 LOT 2, TRACT
 PLEASANTON, CA

7 JULY 10
 2 AUG 2010
 PLAN CHECK

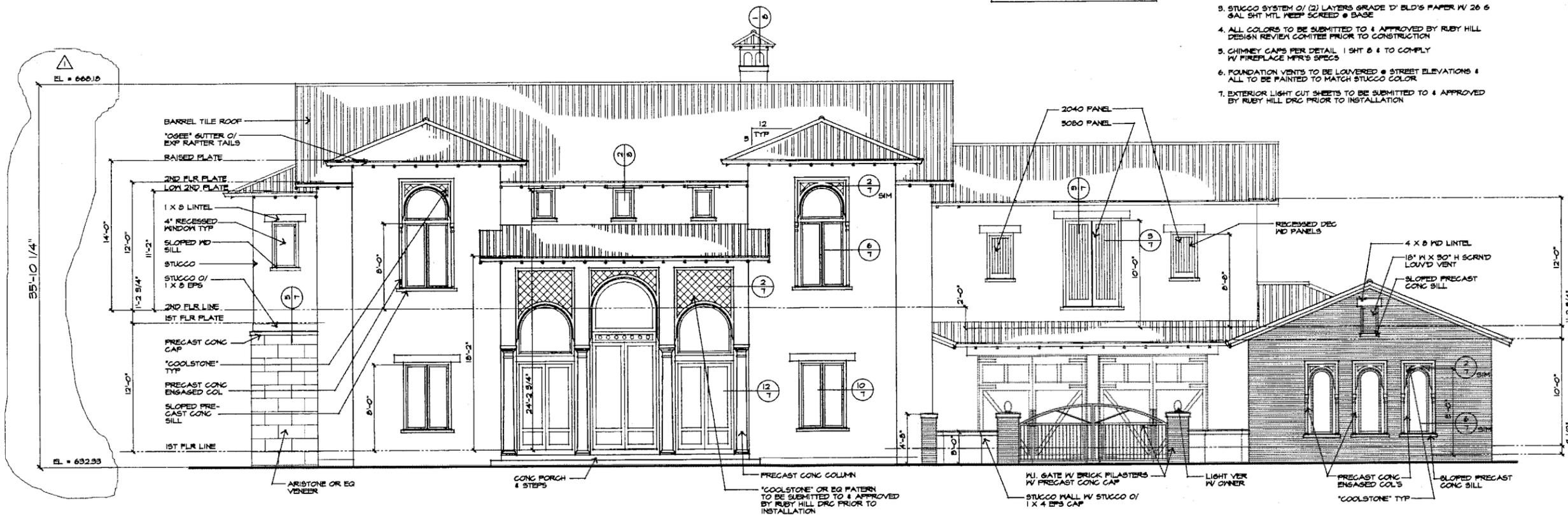


PARTIAL ELEVATION (NORTH)
 1/4" = 1'-0"

ELEVATION NOTES

1. CLASS 'A' CLAY 'B' MISSION TILE ROOF BY MCA ICC ES EVALUATION REPORT # ESR-2144
2. STUCCO SYSTEM TO BE LA HABRA, SMOOTH FINISH
3. STUCCO SYSTEM O/ (2) LAYERS GRADE 'D' BLD'G PAPER W/ 26.6 GAL SHT MTL WEEP SCREED # BASE
4. ALL COLORS TO BE SUBMITTED TO & APPROVED BY RUBY HILL DESIGN REVIEW COMMITTEE PRIOR TO CONSTRUCTION
5. CHIMNEY CAPS PER DETAIL 1 SHT 8 & TO COMPLY W/ FIREPLAGE MFR'S SPECS
6. FOUNDATION VENTS TO BE LOUVERED # STREET ELEVATIONS & ALL TO BE PAINTED TO MATCH STUCCO COLOR
7. EXTERIOR LIGHT CUT SHEETS TO BE SUBMITTED TO & APPROVED BY RUBY HILL DRG PRIOR TO INSTALLATION

ALL WINDOWS TO BE RECESSED
 4" TYP REF. DET 2 SHT 8



FRONT ELEVATION (EAST)
 1/4" = 1'-0"

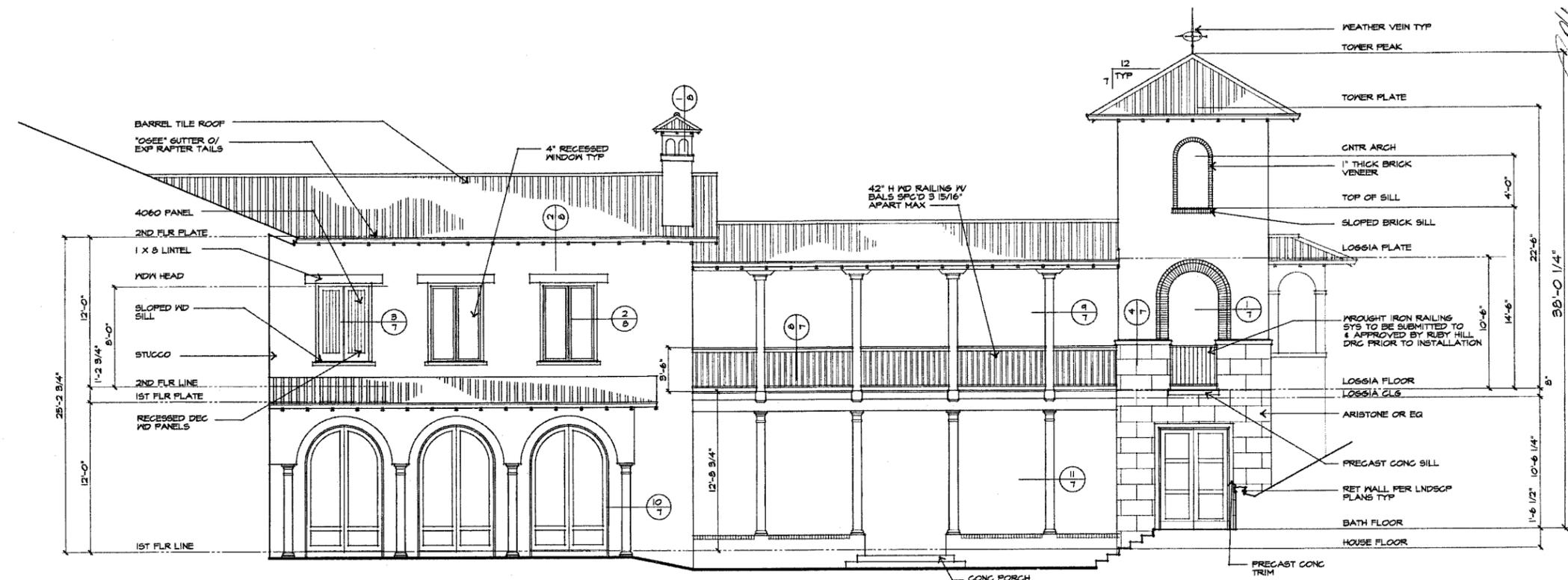


REDDY HOME
 3731 W. RUBY HILL DR
 LOT 2, TRACT
 PLEASANTON, CA

7 JULY TO
 2 AUG 2010
 PLAN CHECK

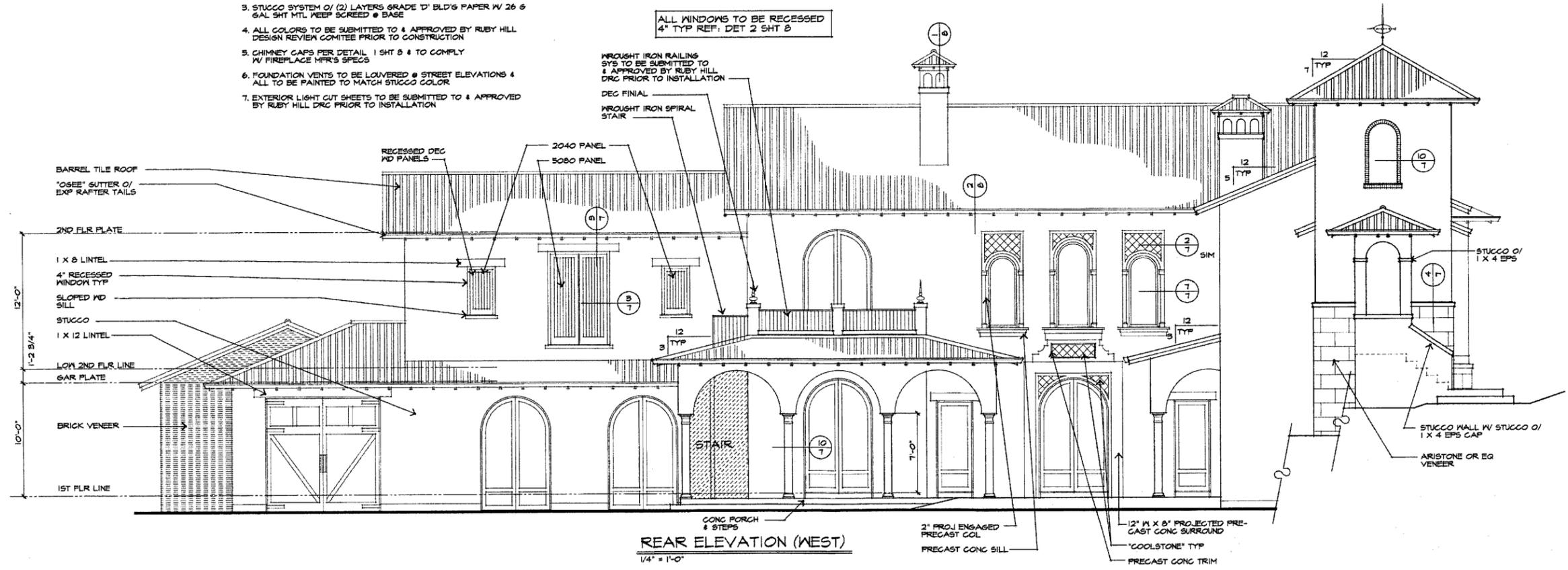
SHEET

4



FAM/LOGGIA/TOWER ELEVATION (NORTH)
 1/4" = 1'-0"

- ELEVATION NOTES**
1. GLASS 'A' CLAY 'B' MISSION TILE ROOF BY MCA ICC ES EVALUATION REPORT # ESR-2144
 2. STUCCO SYSTEM TO BE LA HABRA, SMOOTH FINISH
 3. STUCCO SYSTEM O/ (2) LAYERS GRADE 'D' BLD'G PAPER IV 26 & GAL SHT MTL KEEL SCREED @ BASE
 4. ALL COLORS TO BE SUBMITTED TO & APPROVED BY RUBY HILL DESIGN REVIEW COMMITTEE PRIOR TO CONSTRUCTION
 5. CHIMNEY CAPS PER DETAIL 1 SHT 5 & 6 TO COMPLY W/ FIREPLACE MFR'S SPECS
 6. FOUNDATION VENTS TO BE LOUVERED @ STREET ELEVATIONS & ALL TO BE PAINTED TO MATCH STUCCO COLOR
 7. EXTERIOR LIGHT CUT SHEETS TO BE SUBMITTED TO & APPROVED BY RUBY HILL DRG PRIOR TO INSTALLATION

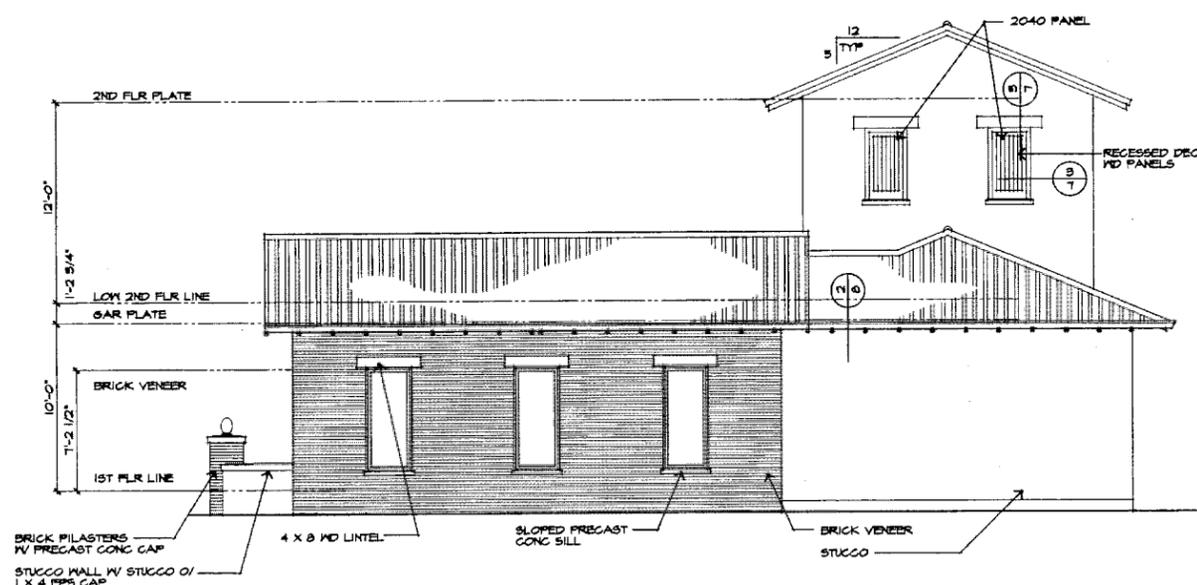


REAR ELEVATION (WEST)
 1/4" = 1'-0"

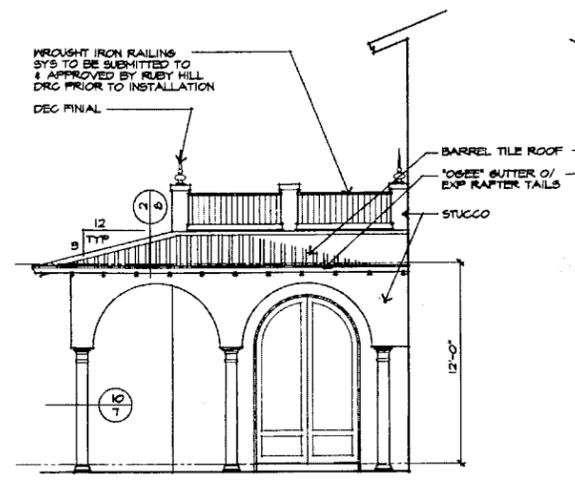
REVIEWED
 INTEREST

REDDY HOME
 3731 W. RUBY HILL DR
 LOT 2, TRACT
 PLEASANTON, CA

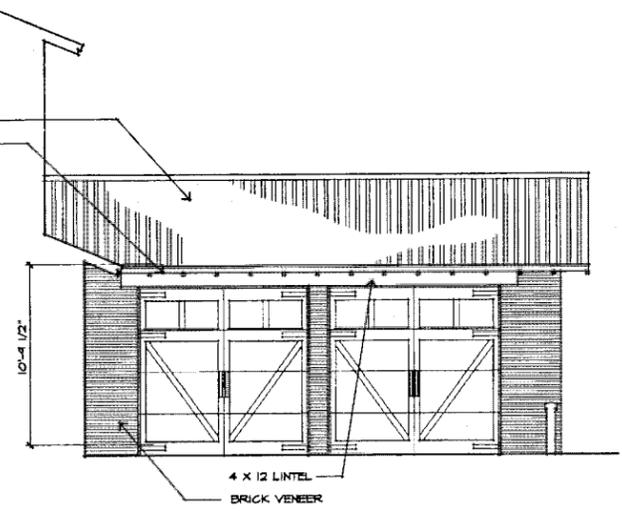
7 JULY 10
 2 AUG 2010
 PLAN CHECK



PARTIAL RIGHT SIDE ELEVATION (NORTH)
1/4" = 1'-0"



GUEST LOGGIA ELEVATION (SOUTH)
1/4" = 1'-0"



SIDE LOAD GARAGE ELEVATION (SOUTH)

ELEVATION NOTES

1. CLASS 'A' CLAY 'S' MISSION TILE ROOF BY MCA ICC EB EVALUATION REPORT # ESR-2144
2. STUCCO SYSTEM TO BE LA HABRA, SMOOTH FINISH
3. STUCCO SYSTEM O/ (2) LAYERS GRADE 1' BLD'G PAPER W/ 26 G GAL SHT MTL WEEP SCREED @ BASE
4. ALL COLORS TO BE SUBMITTED TO & APPROVED BY RUBY HILL DESIGN REVIEW COMITEE PRIOR TO CONSTRUCTION
5. CHIMNEY CAPS PER DETAIL 1 SHT B & TO COMPLY W/ FIREPLACE MFR'S SPECS
6. FOUNDATION VENTS TO BE LOWERED @ STREET ELEVATIONS & ALL TO BE PAINTED TO MATCH STUCCO COLOR
7. EXTERIOR LIGHT CUT SHEETS TO BE SUBMITTED TO & APPROVED BY RUBY HILL DRG PRIOR TO INSTALLATION

ALL WINDOWS TO BE RECESSED
4" TYP REF. DET 2 SHT B

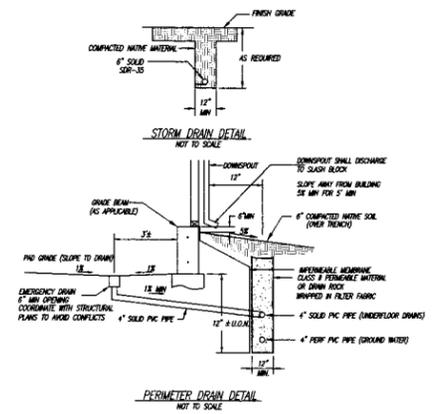


LEFT SIDE ELEVATION (SOUTH)
1/4" = 1'-0"



REDDY HOME
3137 W. RUBY HILL DR
LOT 2 TRACT
PLEASANTON, CA

1 JULY 10
2 AUG 2010
PLAN CHECK



* PER THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S CLEAN WATER (C.3) REQUIREMENTS, WATER FROM THE ROOF AND HANDSCAPE INTENDED TO RUN THROUGH LANDSCAPING BEFORE ENTERING STORM DRAIN SYSTEM.

GRADING NOTES:

1. ALL GRADING SHALL CONFORM TO THE CITY OF PLEASANTON STANDARDS.
2. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF THE SOILS ENGINEER.
3. ALL DOWNSPOUTS SHALL HAVE A MINIMUM 3" DIAMETER SOLID DRAIN LINES AND SHALL DISCHARGE TO SPLASH BLOCKS DIRECTED AWAY FROM STRUCTURE.
4. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM 1% SLOPE. SURFACE WATER SHALL HAVE A 1% MINIMUM SLOPE AND BE CONNECTED TO AREA DRAINS.
5. AREA DRAINS SHALL HAVE A MINIMUM 6 INCHES DIAMETER GRATE OPENING.
6. ALL DRAIN LINES SHALL HAVE A 1% MINIMUM SLOPE.
7. ALL DRAIN LINES SHALL PASS UNDERNEATH THE GRADE BEAMS, NOT THROUGH THEM. ANY SUBDRAINS PLACED UNDER THE STRUCTURE SHALL BE LOCATED TO MISS PIERS AND/OR GRADE BEAMS.
8. WHEN A PERFORATED DRAIN LINE IS CONNECTED TO A SOLID DRAIN LINE, THE INVERT OF THE SOLID DRAIN SHALL BE HELD BELOW THE INVERT OF THE PERFORATED LINE.
9. ALL DRAIN LINES FOR SURFACE WATER SHALL BE SOLID, NON-CLEARED PVC PIPE. PERFORATED PIPE SHALL BE USED FOR SUBDRAINS ONLY. 6" STORM DRAIN TO BE PVC SDR-35 OR APPROVED EQUAL. (SEE DETAILS)
10. CLEANOUTS FOR PERIMETER DRAIN SHALL BE SPACED 75' MAX O.C.
11. EROSION CONTROL PLANS SHALL BE SUBMITTED FOR APPROVAL TO THE BUILDING DEPARTMENT BY SEPTEMBER 15 IF WORK CONTINUES INTO THE RAINY SEASON.
12. THIS PLAN TO BE USED FOR GRADING AND DRAINAGE ONLY. REFER TO ARCHITECTURAL PLANS FOR OTHER INFORMATION.
13. THE CONTRACTOR SHALL MAINTAIN THE SITE IN AN ORDERLY MANNER CONTINUOUSLY THROUGHOUT THE PROJECT. THE STREET SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES. THE CONTRACTOR SHALL ALSO PROVIDE DUST CONTROL MEASURES TO THE SATISFACTION OF THE CITY. FAILURE TO COMPLY WITH ORDINANCES WILL RESULT IN A SUSPENSION OF WORK UNTIL COMPLIANCE IS VERIFIED.
14. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTING, MAINTAINING, AND REPAIRING STORM DRAIN, PERIMETER DRAIN, DOWNSPOUTS, AND DRAINAGE SWALES.

The Following (a) and (b) shall be provided to the building inspector before and foundation inspection will be performed. Item (a) shall be provided before the shear and roof inspection. Item (d) shall be provided before a frame inspection will be performed.

- a. A Licensed Land Surveyor must verify building setbacks to property lines and also pad elevation(s). This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- b. When Fill is employed under the building a soils engineer must verify pad compaction. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of foundation inspection.
- c. A Licensed Land Surveyor must verify finish floor elevations. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of shear and roof inspection.
- d. A Licensed Land Surveyor must verify the highest elevation of the highest point of any roof ridge or roof projection. This verification must be in the form of a professional report, stamped and signed by the registered professional. This report must be submitted to the field inspector at the time of frame inspection.

BASIS OF BEARINGS

THE BEARINGS SHOWN UPON THIS MAP ARE THE SAME AS SHOWN UPON TRACT 6896, RUBY HILL, CITY OF PLEASANTON, CALIFORNIA, RECORDED IN BOOK 250 OF MAPS, AT PAGE 81-86 ALAMEDA COUNTY RECORDS.

BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE THE SAME AS SHOWN UPON TRACT 6896

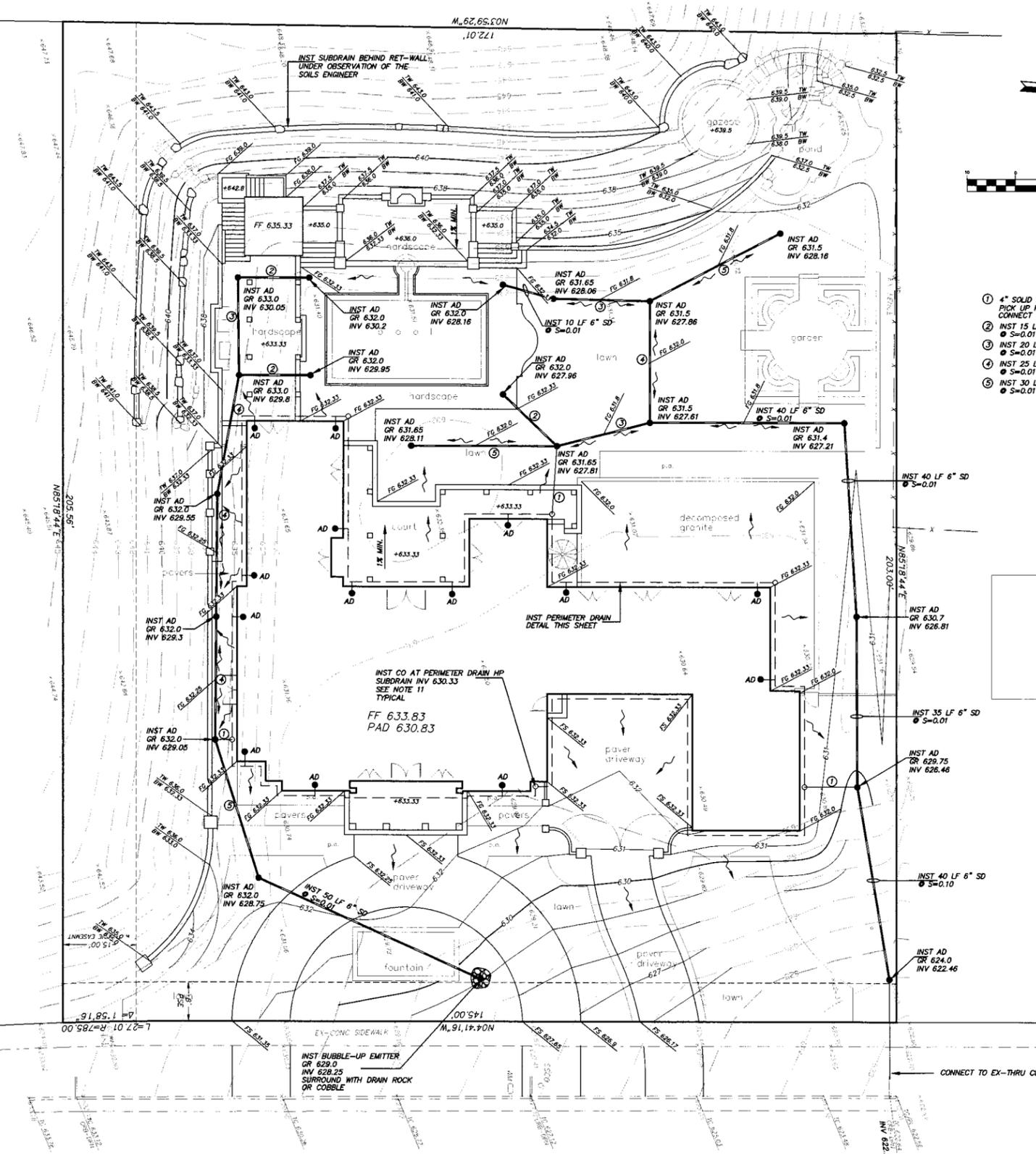
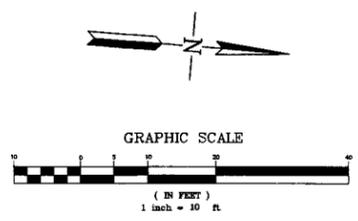
NOTES:

- ALL UNDERGROUND UTILITIES ARE TAKEN FROM AVAILABLE PUBLIC RECORDS, 2002 FIELD LOCATED.
- SEE ARCHITECT'S PLAN FOR MORE INFORMATION REGARDING THE FLOOR PLAN.
- SEE LANDSCAPE PLAN FOR FURTHER DETAIL.
- PAD TO FINISH FLOOR DISTANCE TO BE VERIFIED BEFORE CONSTRUCTION.
- GARAGE FLOOR TO SLOPE TOWARDS THE FRONT AT 1% MIN.

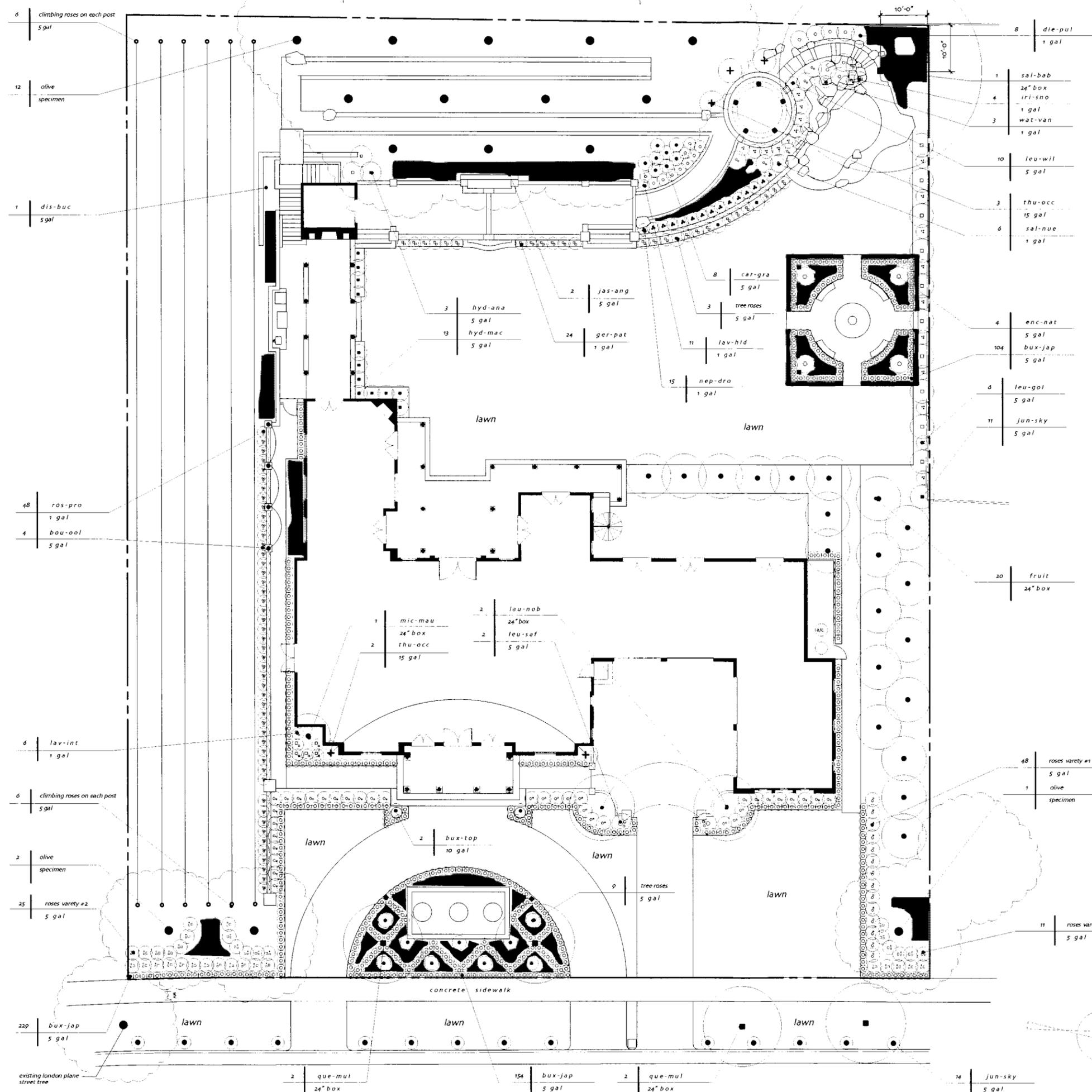
IMPERMEABLE AREA = 8,946 SQ FT

ABBREVIATIONS

- AD AREA DRAIN
- CO CLEAN-OUT
- COPT CLEAN-OUT TO GRADE
- DI DRAIN INLET (MANSON P18 OR EQUAL)
- FW FINISHED FLOOR
- FW FINISHED FLOOR
- FL FINISHED GRADE
- FS FINISHED SURFACE
- GS TOP OF GRADE
- HP HIGHEST POINT
- INV INVERT
- OFF GARAGE FINISHED FLOOR
- PA PLASTER AREA
- SM STORM WATER INLET
- TC TOP OF CURB
- TG TOP OF GRADE
- TW TOP OF RETAINING WALL



WEST RUBY HILL



GROUND COVERS:

- Thymus citriodora from 1 gallon at 16" o.c. Lime Thyme
- Teucrium chamaedrys from 1 gallon at 24" o.c. Triangular Spacing. Germander Variety
- Scaveola 'Mauve Clusters' from 1 gallon at 24" o.c. Triangular Spacing. no common name
- Rosmarinus officinalis 'Irene' from 1 gallon at 24" o.c. Triangular Spacing. Rosemary
- Vegetable bedding area PROVIDE 4" DEEP PLANTING MIX No top dressing. Varies
- Perennial bedding area PROVIDE 4" DEEP PLANTING MIX No top dressing. Varies
- Bolero' dwarf fescue sod (dwarf fescue blend) Lawn

Reddy residence
 Lot#2
 West Ruby Hill Drive
 Anil - 650 948 6929
 cell 650 450 3015

NOTE:
 This plan is an as-built landscape plan, and reflects conditions noted in the field. The owner is solely responsible for code compliance and is legally responsible for the design.

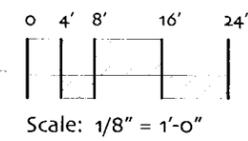
NOTE:
 This plan is diagrammatic in nature. It is meant as a general guide to construction only. It is not fully detailed nor exhaustively specified. It is the responsibility of the contractor to become familiar with the site prior to starting work. Notify the landscape designer promptly with any field discrepancies. It is the responsibility of the contractor and/or owner to verify, select, and resolve all structural, water features, and planting materials. The contractor and owner are solely responsible for quality control, construction standards and for maintaining compliance with local and county codes on this project.

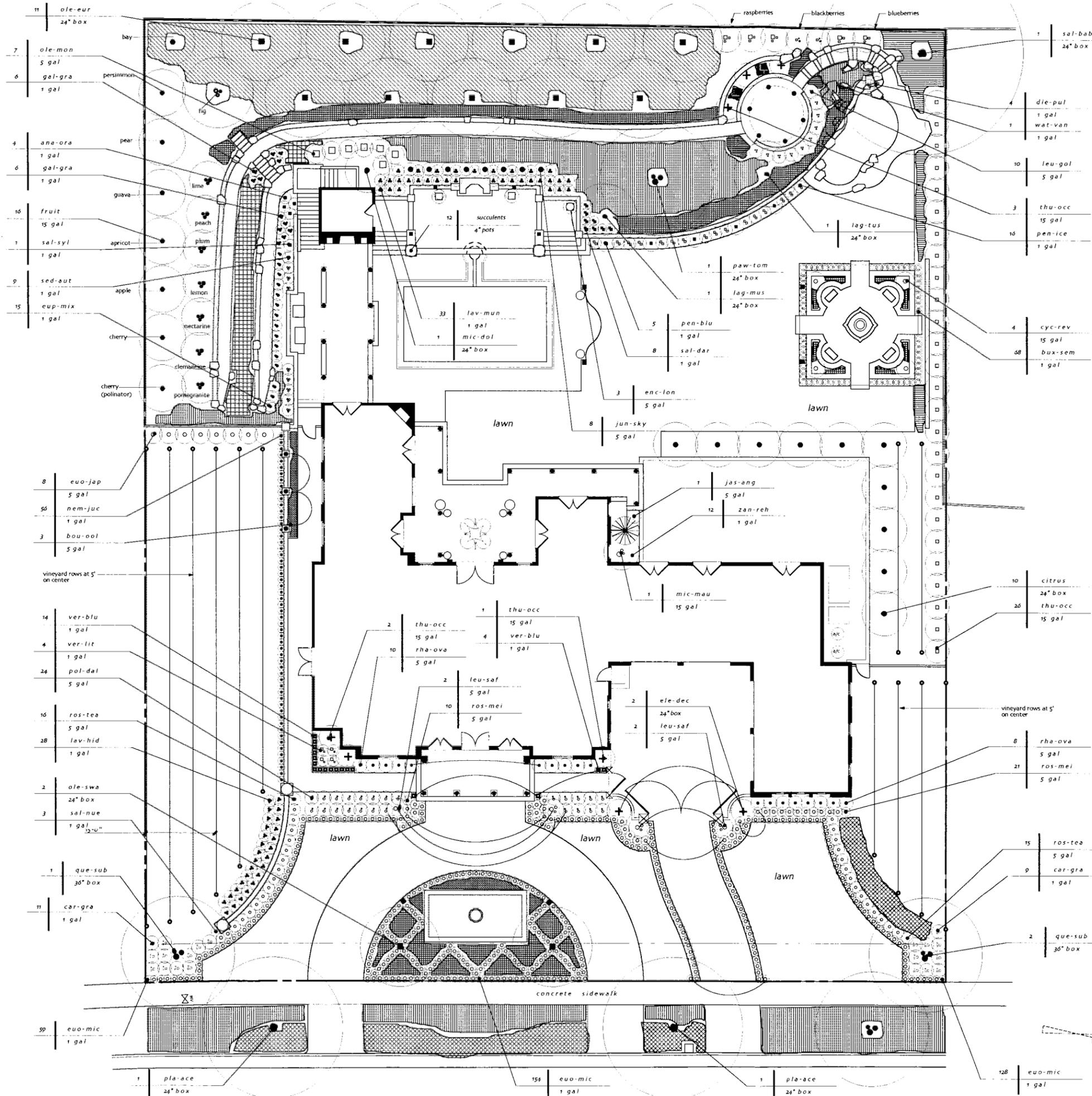
REV. NO.	REVISION
1	added fireplace detail 3/13/20
2	revised per Reddy comments 3/13/20
3	revised per Reddy comments 3/13/20
4	revised per changes made in the field 5/22/20

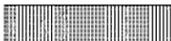
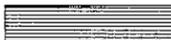
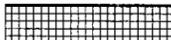
planting plan

Job No: _____ Date: _____
 Drawn: mfh Scale: 1/8" = 1'-0"

L-2





- GROUND COVERS:**
-  Lampranthus spectabilis from flats at 24" o.c. Triangular Spacing
 -  Thymus citriodora from 1 gallon at 16" o.c.
 -  Carex pansa from plugs at 18" o.c. Triangular Spacing.
 -  Teucrium chamaedrys from 1 gallon at 24" o.c. Triangular Spacing.
 -  Scaveola 'Maive Clusters' from 1 gallon at 24" o.c. Triangular Spacing
 -  Rosmarinus officinalis 'Irene' from 1 gallon at 24" o.c. Triangular Spacing.
 -  Vegetable bedding area PROVIDE 4" DEEP PLANTING MIX No top dressing
 -  Perennial bedding area PROVIDE 4" DEEP PLANTING MIX No top dressing
 -  Bolero' dwarf fescue sod (dwarf fescue blend)
- Trailing Iceplant
 - Lime Thyme
 - Sedge Variety as 'no mow' grass
 - Germander Variety
 - no common name
 - Rosemary
 - Varies
 - Varies
 - Lawn



Martin Hoffmann
 537 Sycamore
 Valley Road West
 Danville, Ca 94526
 925 837 1121
 fax 925 837 1704

Reddy residence
 Lot#2
 West Ruby Hill Drive

NOTE: This plan is diagrammatic in nature. It is meant as a general guide to construction only. It is not fully detailed nor exhaustively specified. It is the responsibility of the contractor to become familiar with the site prior to starting work. Reddy landscape designer promptly with any field discrepancies. It is the responsibility of the contractor and/or owner to verify, select, and resolve all structures, water features, and planting materials. The contractor and owner are solely responsible for quality control, construction standards and for maintaining compliance with local and county codes on this project.



REV. NO.	REVISION

planting plan

Job No:	Date:
Drawn: mh	Scale: 1/8" = 1'-0"

L-3

