

THE CITY OF



PLEASANTON.

EXHIBIT H

PROCESS FLOW CHARTS

RESIDENTIAL TEAR DOWN AND REBUILD

Determine whether structure is historic resource. Either assume that it is, or hire qualified consultant to document that it is not.
(If consultant required, allow 45 days for evaluation)

Yes

Prepare EIR and ask City to adopt Statement of Overriding Considerations.
(If EIR required, allow six months for preparation, circulation, and response to comments.)

Design Review for new home.
Must be compatible with Downtown Specific Plan Policies and Downtown Design Guidelines.
(Allow 45 days unless revisions are required.)*

Project Decision

*Additional 45 days each if project is appealed to Planning Commission and City Council

No



RESIDENTIAL ADDITION

Determine whether existing structure is historic resource.

(If consultant required, allow 45 days for evaluation.)

Yes

No

Administrative Design Review.
Review addition for consistency with Secretary of Interior Standards for Historic Preservation (SISHP), Downtown Specific Plan Policies, and Downtown Design Guidelines.
(Allow 45 days unless revisions are required.*)

Administrative Design Review.
Review for consistency with Zoning Regulations, Downtown Specific Plan Policies and Design Guidelines.
(Allow 45 days unless revisions are required.*)

Yes

Project Decision

Not consistent with SISHP

Prepare EIR and ask City to prepare Statement of Overriding Considerations.
(Allow six months for preparation, circulation, and response to comments. Allow 30 additional days for design review after EIR is complete.*)

Project Decision

*Additional 45 days each if project is appealed to Planning Commission and City Council

RESIDENTIAL REMODEL*

*Remodel only subject to City design review if it includes an addition greater than 10 feet in height or exterior changes that are greater than 10 feet in height.

Determine whether existing structure is historic resource.

(If consultant required, allow 45 days for evaluation.)

Yes

Administrative Design Review.
Review remodel for consistency with Secretary of Interior Standards for Historic Preservation (SISHP), Downtown Specific Plan Policies, and Downtown Design Guidelines.
(Allow 45 days unless revisions are required.**)

Yes

Project Decision

**Additional 45 days each if project is appealed to Planning Commission and City Council

No

Administrative Design Review.
Review for consistency with Zoning Regulations, Downtown Specific Plan Policies and Design Guidelines.
(Allow 45 days unless revisions are required.**)

Project Decision

Not consistent with SISHP

Prepare EIR and ask City to prepare Statement of Overriding Considerations.
(Allow six months for preparation, circulation, and response to comments. Allow 30 additional days for design review after EIR is complete.**)

Project Decision

NEW RESIDENTIAL CONSTRUCTION

Design Review.
Review for consistency with Zoning Regulations,
Downtown Specific Plan Policies,
and Design Guidelines.
(Allow 45 days unless revisions are required.*)

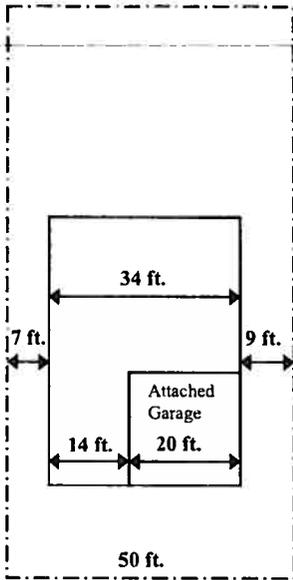
Project Decision

*Additional 45 days each if project is appealed to Planning Commission and City Council

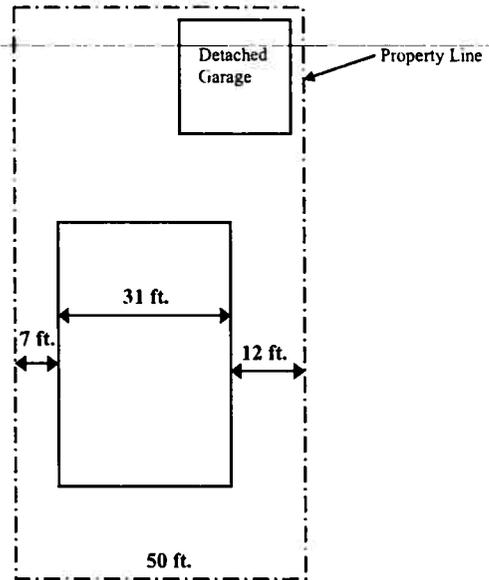
Garage Location Figures

RM-4,000 District

Minimum Side Yard Setbacks are 7 ft. minimum on one side with total combined side yards of at least 16 ft.



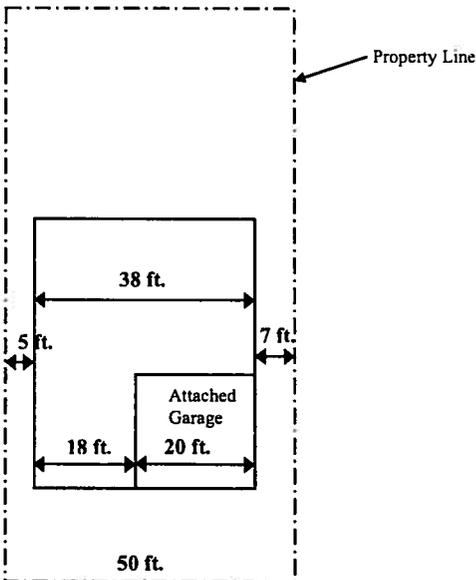
With an Attached Garage



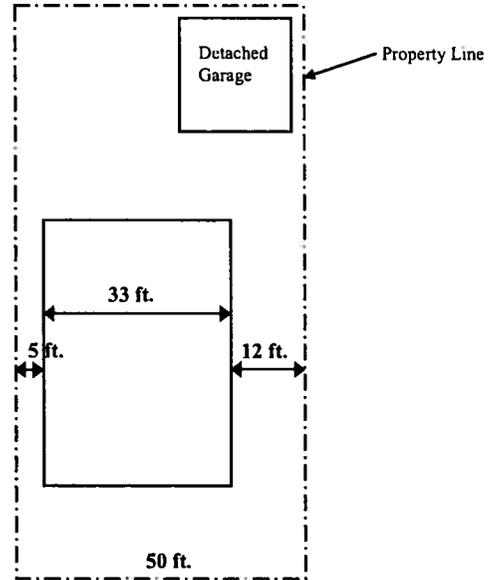
With a Detached Garage

R-1-6,500 District

Minimum Side Yard Setbacks are 5 ft. minimum on one side with total combined side yards of at least 12 ft.



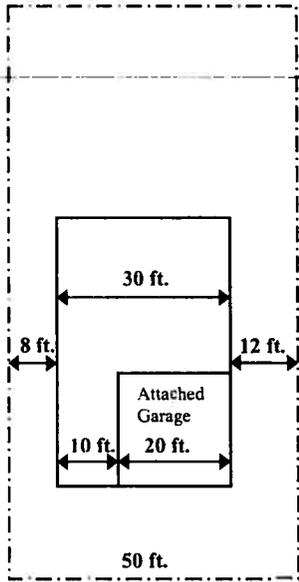
With an Attached Garage



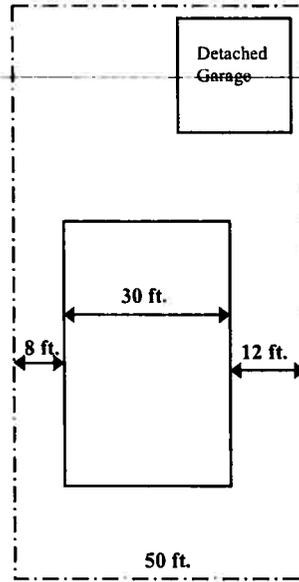
With a Detached Garage

RM-1,500 District

Minimum Side Yard Setbacks are 8 ft. minimum on one side with total combined side yards of at least 20 ft.



With an Attached Garage



With a Detached Garage



October 17, 2013

City of Pleasanton Planning Commission
200 Old Bernal Ave.
Pleasanton, CA 94566

RE: Historic Preservation Task Force

Dear Planning Commissioners,

The Pleasanton Downtown Association (PDA) has been closely involved in the Historic Preservation Task Force process and has been monitoring and actively discussing the work being done by this group over the past year. We acknowledge the hard work and effort that has been given by each task force member. Downtown is a very special place and the heart of our community. And we strongly believe Downtown Pleasanton needs a strong, vibrant commercial and residential core in order to thrive. While reviewing and implementing the Historical Preservation documents it is critical that the City creates an environment that encourages reinvestment in our downtown, both commercial and residential, while remaining sensitive to historic properties.

The PDA's Downtown Vitality Committee and Board of Directors have reviewed the draft Historic Preservation documents and we have some specific edits we would like to see made in order to clarify and simplify future development process in downtown.

Our proposed amendments are:

1. Downtown Specific Plan, Proposed Amendments, Page 8 of 11
 - a. Item 3 – change “prohibit” to “discourage”
 - b. Item 5 –
 - i. This should reference and/or reflect the verbiage in the Downtown Design Guidelines
 - ii. Delete “height, floor area, bulk, massing, and setbacks” from the first sentence
 - iii. Focus on adaptable use and remain flexible with space design. This is especially critical when thinking of retail use (i.e.: retail-friendly display windows)

2. Downtown Specific Plan, Proposed amendments, Page 9 of 11
 - a. Item 7 – this needs to be rewritten to only include residential properties, not commercial
 3. Draft Demolition Definition
 - a. Needs to be rewritten specifically for RESIDENTIAL ONLY
-

We are fortunate that our commercial district is surrounded by an established and dynamic residential district. We sincerely hope that the outcome of the Historical Preservation Task Force will encourage thoughtful and creative reinvestment and redevelopment of our downtown residential area so that both current and future residents can all benefit from this place we love.

Best Regards,

Laura Olson
Executive Director

cc: City of Pleasanton Planning Department
Pleasanton Downtown Association Board Members
Scott Raty, Chamber of Commerce

From: Michael Harmon <[REDACTED]>
Sent: Sunday, November 03, 2013 5:07 PM
To: Steve Otto
Subject: Planning Commission

Steve,

My name is Michael Harmon and I live at [REDACTED]. While my wife and I have lived in Pleasanton since 2004, we only purchased our home in April of this year. I received the planning Commission Notice of Public Hearing for the consideration of P13-2446, P13-2447 and P13-2448 on November 13, 2013 at 7:00pm and wanted to reach out to you regarding my specific concerns.

The property we purchased was built in 1928. It is a very small three bedroom house with a detached garage that was built sometime after the house. The garage is very rundown and will most likely need to be replaced. In addition, we were considering building on to the back of our house by 12 feet or so to extend the third bedroom.

We purchased on 2nd Street because of the people we met and the charm of the houses that help to make the neighborhood what it is. While we haven't talked to the city about either of these projects (we just adopted our baby girl in April and we have been very busy!), my concern is that we will have difficulty with these projects in the future.

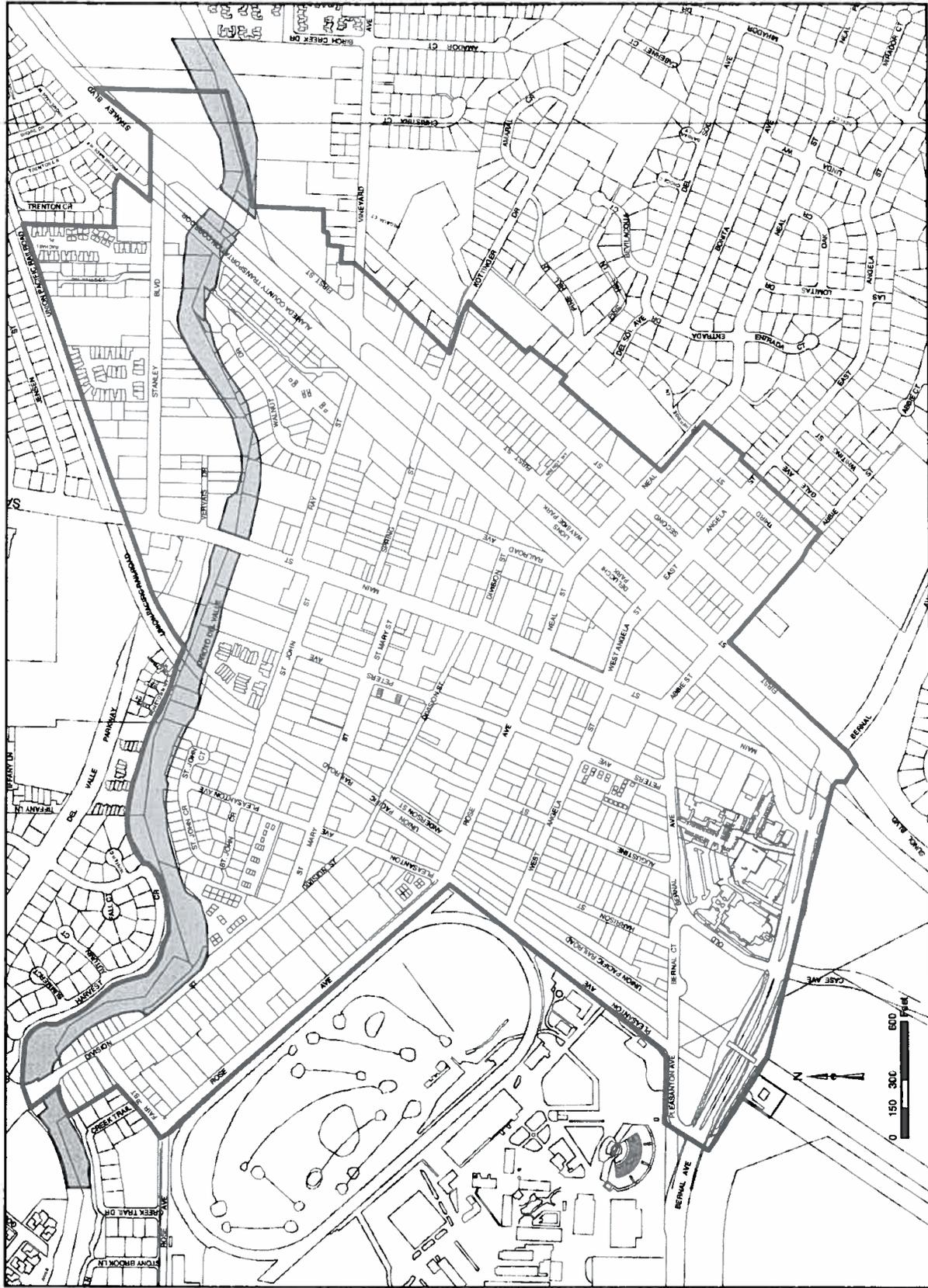
While I agree it is important to maintain the look and feel of the neighborhood, I also believe that as a homeowner who has purchased the home, the land and pay a large amount of property taxes, I should have a certain amount of rights in regards to my personal property.

Per the flyer I received, it said I had to notify the city of my concerns and in sending this email I hope have accomplished that. Can you please confirm that is the case? I would like to attend the meeting on the 13th. Can you also confirm that this meeting is open to homeowners like myself?

Thank you for your time. Hopefully, I will get a chance to meet you at the Planning Commission meeting.

Best Regards,
Michael Harmon

Click
<https://www.mailcontrol.com/sr/DPYLMHUGPr!GX2PQPOMvUkD3gJB7pb3pWwl2mv3vhC9bfOa41bG!eqEkawiSK+OAD80j2Wpbjalc1vNYau6exQ==> to report this email as spam.



DOWNTOWN SPECIFIC PLAN PARCELIZATION AND BOUNDARY MAP