

Planning Commission Staff Report

February 27, 2013
Item 5.a.

- SUBJECT:** Vesting Tentative Subdivision Map 7975
- APPLICANT:** Mike Carey
- PROPERTY OWNER:** Gordon W. Braker
- PURPOSE:** Application for Vesting Tentative Map approval to subdivide an approximately 13,161-square-foot parcel located at 4238 First Street into five single-family residential parcels (approved under PUD-64).
- LOCATION:** 4238 First Street
- GENERAL PLAN:** High Density Residential (greater than 8 dwelling units per gross acre).
- SPECIFIC PLAN:** Downtown Specific Plan – High Density Residential
- ZONING:** PUD-HDR (Planned Unit Development – High Density Residential) District.
- EXHIBITS:**
- A. Draft Conditions of Approval
 - B. Vesting Tentative Subdivision Map 7975 with Grading and Drainage Plan and Topographic Survey dated “Received November 27, 2012”
 - C. Approved PUD Development Plan for PUD-64
 - D. Ordinance No. 1971, with conditions of approval, for PUD-64
 - E. Planning Commission Staff Report for PUD-64, without attachments, dated October 10, 2007
 - F. Planning Commission Meeting Minutes Excerpt, dated October 10, 2007
 - G. City Council Staff Report for PUD-64, without attachments, dated February 5, 2008
 - H. City Council Meeting Minutes Excerpt, dated February 5, 2008
 - I. PUD-64 Extension Letter, dated August 10, 2010
 - J. PUD-64-01M Minor Modification Approval Letter, dated December 17, 2012
 - K. Location and Noticing Maps
 - L. Email from Tom Gill dated “March 3, 2013”
-

BACKGROUND

At its public hearing held on February 5, 2008, the City Council introduced Ordinance No. 1971 for PUD-64, the Planned Unit Development (PUD) rezoning and development plan approval for the approximately 13,161 square-foot parcel located at 4238 First Street. Please refer to Exhibit C for a copy of the approved PUD development plan and Exhibit D for Ordinance No. 1971, with conditions of approval, for PUD-64. Staff has also included the Planning Commission and City Council staff reports and meeting minute excerpts as Exhibits E-H for the Commission's reference.

PROJECT DESCRIPTION

Vesting Tentative Subdivision Map 7975 would subdivide the existing parcel in compliance with the approved PUD development plan. Please refer to Figure 1 (below) for the project location. The proposed subdivision map will create five new parcels, one parcel for the existing home and four parcels for the new single-family homes, with each parcel having an easement for the guest parking stall, located between lots 3 and 4 in Exhibit B, and private street. Each lot will have private front, side and rear yard areas with lots 2-5 having private driveway aprons for tandem parking in front of the lot's one car garage and lot 1 will have two uncovered parking spaces.

Figure 1: Project Location



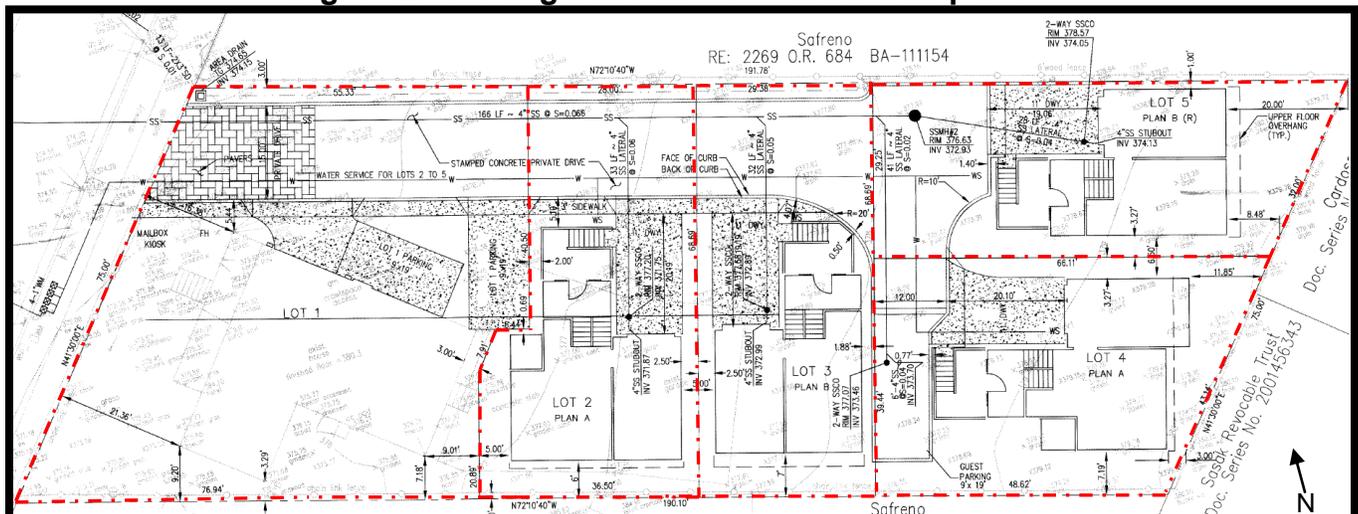
Condition of approval No. 5 of PUD-64 (please refer to Exhibit D of this report) states:

“The plans shall be revised to show that: (1) the second and third floor cantilevering maintain a five-foot setback from the rear (south) property line; (2) Lots 2 and 3 will be moved forward approximately one to two feet; and (3) the interior floor space of Lots 2 and 3 has been reduced.”

Staff notes that the Vesting Tentative Subdivision Map (Exhibit B) reflects the five-foot setback and the one- to two-foot change in distance in distance for Lots 2 and 3. Staff notes that floor plans are not required for Vesting Tentative Subdivision Map approval and, therefore, staff cannot verify if item No. 3 of condition of approval No. 5 has been satisfied. Floor plans and their respective square-footages will be required upon submittal to the Building and Safety Division for plan check and permit issuance.

Furthermore, the stormwater requirements have changed since the approval of the PUD development plan. Since the project is required to meet current stormwater requirements, changes to the approved development plan were required. The previously approved 18-foot wide private street was reduced to a 15-foot wide private street to accommodate an approximately 113-foot long by 3-foot wide vegetative swale along the north side of the private street. This change was reviewed and approved by the Livermore-Pleasanton Fire Department and the City’s Engineering and Traffic Engineering Divisions. These changes are reflected on the plans in Exhibit B. Staff has also included the revised site plan as Figure 2 below.

Figure 2: Vesting Tentative Subdivision Map 7975



CITY COUNCIL ACTION ON PUD-64

Review of a tentative subdivision map requires review of its consistency with the approved PUD development plan (including review of any issues expressly deferred to the map review) and compliance with State-mandated findings. As described above, the vesting tentative map closely follows the PUD development plan. Staff believes the modification required by the PUD condition has been satisfactorily incorporated into the tentative map. Furthermore, although minor changes have been made to the PUD development plan to comply with new stormwater requirements, staff believes that the minor changes are consistent with the previous approval and are acceptable. In sum, staff believes the vesting tentative map has satisfactorily addressed all issues it was required to address and has incorporated all required modifications, as conditioned.

ANALYSIS

With the exception of the reduced driveway width, 18- to 15-feet, and new 3-foot wide by 113-foot long vegetative swale, the design of the proposed vesting tentative map lot pattern and private street match the approved PUD development plan.

Ordinance 1971

With the approval of PUD-64, the applicant had two years to receive a building permit and commence construction before the development plan would expire. The applicant was not able to pursue developing the property and the development plan (PUD-64) was nearing the expiration date. Therefore, the applicant requested an extension to the development plan approval. On August 10, 2010, the Director of Community Development granted a two-year extension to PUD-64, thereby extending the expiration date to February 11, 2013 (please refer to Exhibit I). Although the expiration date was extended, the applicant was still not able to develop the property and, prior to the February 11, 2013, expiration date, the applicant applied and received approval for a minor modification to PUD-64 to amend condition of approval No. 30 of Ordinance 1971 to extend the expiration of the PUD. The minor modification to the condition of approval, filed under Case No. PUD-64-01M, was amended to read as follows:

“The PUD development plan approval shall lapse two years from the effective date of this ordinance unless a tentative or parcel map, as applicable, is approved. If a tentative or parcel map is approved, the PUD development plan approval shall lapse when the tentative map or parcel map approval expires. If a final map is recorded before the tentative map or parcel map expires, then the PUD development plan approval shall not lapse.”

With the modified condition of approval, the PUD would expire on January 7, 2015, unless a tentative map is approved. A copy of the minor modification approval letter is attached as Exhibit J for the Commission's reference.

PUBLIC NOTICE

Notice of this application was sent to surrounding property owners within a 1,000-foot radius of the site. The location and noticing maps are included as Exhibit K. As a result of this notification, staff had received one email from Tom Gill (attached as Exhibit L) and one phone call from Jeff Toll.

Mr. Gill posed questions regarding whether the homes would be detached or attached, if the existing house would be retained, if the project was consistent with the zoning and density, and whether the homes would be rented or owned. Mr. Toll's questions were similar to those of Mr. Gill's. Staff informed both gentlemen that the development plan was for four new detached single-family homes that could be owner-occupied or rented, that the existing house would remain, and that the development is consistent with the zoning and density for the property.

VESTING TENTATIVE SUBDIVISION MAP FINDINGS

State law and the Zoning Ordinance of the Pleasanton Municipal Code (PMC) set forth the purposes and the considerations to be addressed in reviewing a Vesting Tentative Subdivision Map. The Planning Commission must make the following findings that Vesting Tentative Subdivision Map 7975 conforms to the purposes of the PMC, before making its action.

1. The proposed vesting tentative subdivision map conforms to the zoning regulations/development plan.

The vesting subdivision map and improvements follow the design of the PUD development plan and conditions of Ordinance 1971.

2. The design of the subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities.

The homes will comply with the City's residential Green Building Ordinance, which requires that each home achieve a "Green Home" rating on the "Single-Family Green Building Rating System." The homes in the development will incorporate a number of green building measures into the project, providing a minimum of 50-points, and will be constructed to accommodate photovoltaic panels. Two of the homes would be oriented on an east-west alignment for southern exposure

3. The proposed vesting tentative subdivision map, together with its design and improvement, is consistent with the Pleasanton General Plan.

PUD-64 was found to be consistent with the Pleasanton General Plan and with the Pleasanton Downtown Specific Plan and Vesting Tentative Subdivision Map 7975 is based on the approved development plan. The proposed subdivision and its improvements are compatible with the objectives, policies, land uses, and programs specified in the General Plan and the Specific Plan.

4. The subdivision site is physically suitable for this type and density of development.

The property is not in a flood zone or earthquake fault zone. The site is relatively flat and project construction would involve minimal site grading and alteration of existing topography.

5. The design of the subdivision and improvements covered by the proposed vesting tentative subdivision map will not cause substantial environmental damage and avoidably injure fish and/or wildlife or their habitat.

There are no wetlands, streams, or other sensitive areas on or adjacent to the site. PUD-64 includes conditions that require best management practices be incorporated before and during construction to minimize impacts.

6. The design of the proposed subdivision or type of improvements is not likely to cause serious public health problems.

The proposed subdivision meets all applicable City standards pertaining to public health, safety, and welfare (e.g., adequate public utilities and services, private road design and traffic safety, fire hazards, noise hazards, etc.). All public safety measures are addressed through the design and conditions of approval for PUD-64 and the vesting tentative subdivision map. The private street connection to First Street is satisfactory to the Livermore-Pleasanton Fire Department and Traffic Engineer. The homes will be equipped with automatic residential fire sprinklers and will be required to meet the requirements of the California Building Code, Fire Code, and other applicable City codes and/or requirements. The site is free from toxic or hazardous materials and no earthquake, landslide, flooding, or other natural hazards exist at this site.

7. The design of the subdivision or its related improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

No easements exist. The vesting tentative subdivision map establishes an easement for the private street and shared guest parking space as required in the PUD development plan conditions of approval.

8. The restriction on approving a tentative subdivision map on land covered by a land conservation contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act) is not applicable.

The site is not covered by a land conservation contract.

9. The discharge of waste from the proposed subdivision would not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board (RWQCB).

No violation currently exists and capacity is available for this subdivision. The project would not discharge any waste other than domestic sewage. Urban stormwater runoff is required to meet the City's RWQCB (Regional Water Quality Control Board) permit requirements for urban development.

ENVIRONMENTAL ASSESSMENT

Environmental review for Vesting Tentative Subdivision Map 7975 is covered by the Final EIR (Environmental Impact Report) that was approved by the City Council for the Downtown Specific Plan in conformance with the standards of the California Environmental Quality Act (CEQA). As the physical environment has not significantly changed since that time; no newer information or changed circumstances which require additional CEQA review has been identified to the City. For this reason, no separate environmental document accompanies this staff report for this item.

CONCLUSION

The proposed subdivision is well designed and is in keeping with the previously approved PUD development plan and requirements of the PUD approval (PUD-64). The proposed project has been revised to meet current stormwater requirements and, therefore, warrants a favorable action by the Planning Commission.

STAFF RECOMMENDATION

Staff recommends the Planning Commission approve Vesting Tentative Subdivision Map 7975 by taking the following actions:

1. Make the finding that the physical environment has not significantly changed since the time that the Final EIR for the Downtown Specific Plan was approved and that no newer information or changed circumstances require additional CEQA review;
2. Make the finding that Vesting Tentative Subdivision Map 7975 is consistent with the Pleasanton General Plan;
3. Make the subdivision map findings as stated in the Planning Commission staff report; and,
4. Approve Vesting Tentative Subdivision Map 7975 subject to the draft conditions of approval stated in Exhibit A.

Staff Planner: Natalie Amos, Associate Planner, 925.931.5613, namos@cityofpleasantonca.gov

**EXHIBIT A
DRAFT CONDITIONS OF APPROVAL**

**Vesting Tentative Subdivision Map 7975
4238 First Street**

SPECIAL CONDITIONS

Planning Division

1. A final landscape and irrigation plan shall be submitted to and approved by the Planning Division as part of the building permit plan sets prior to issuance of a building or on-site permit. Said landscape plan shall be consistent with the approved landscape plan, any conditions of approval, show the location of the vegetative swale, and shall be detailed in terms of species, location, size, quantities, and spacing. The landscape and irrigation plans are subject to the review and approval of the Director of Community Development.

Engineering Division

2. A sanitary sewer lateral with two-way cleanout (located at the back of the sidewalk or curb, whichever is applicable) shall be provided to each lot of record within the development unless otherwise approved by the City Engineer.
3. All utilities (storm drain system, sanitary sewer system, water laterals after water meters and dry utilities) serving this sub-division shall be private.

STANDARD CONDITIONS

Planning

4. Vesting Tentative Map 7975 shall be in substantial conformance to Exhibit B, dated "Received, November 27, 2012" on file with the Planning Division, except as modified by the following conditions. Minor changes to the plans may be allowed subject to the approval of the Director of Community Development.
5. Vesting Tentative Subdivision Map 7975 shall lapse two years from the effective date of this approval unless a final subdivision map is recorded or an extension is approved by the City.
6. Vesting Tentative Subdivision Map 7975 shall incorporate by reference all applicable conditions and requirements of PUD-64, the PUD Development Plan covering this subdivision, as approved by the City Council.
7. To the extent permitted by law, the project applicant shall defend (with counsel reasonably acceptable to the City), indemnify and hold harmless the City, its City Council, its officers, boards, commissions, employees and agents from and against any claim, action, or proceeding brought by a third party against the indemnified parties and the applicant to attack, set aside, or void the approval of the project or

any permit authorized hereby for the project, including (without limitation) reimbursing the City its attorneys fees and costs incurred in defense of the litigation. The City may, in its sole discretion, elect to defend any such action with attorneys of its choice.

8. Planning Division approval is required before any changes are implemented in the design, grading, drainage, etc., of the subdivision map.
9. The Final Subdivision Map plan check package will be accepted for submittal only after completion of the 15-day appeal period, measured from the date of the resolution unless the project developer submits a signed statement acknowledging that the plan check fees may be forfeited in the event that the approval is overturned on appeal, or that the design is significantly changed as a result of the appeal.

STANDARD CONDITIONS

Engineering

- 10.A "Conditions of Approval" checklist shall be completed and attached to all plan checks submitted for approval indicating that all conditions have been satisfied.
- 11.A geologic report shall be prepared as per City Municipal Code 17.12 Geologic Hazard, 18.68 PUD District, 18.76 Hillside Planned Development Dist. as applicable and as required by the City Engineer for site specific condition.
- 12.The tentative map shall contain a brief legal description of any parcel being re-subdivided, a statement of lot and total acreage, and a statement referencing any separate documents required to be recorded with the map.
- 13.A final map shall be required to subdivide the property into 5 lots. With the map, the project developer shall set forth the maintenance areas of the proposed development and maintenance responsibilities. The project developer shall record Maintenance Agreement at the time of recordation of the map which shall create a Maintenance Association for the development. The Maintenance Agreement shall be subject to the review and approval of the City Attorney, Project Planner and the Utility Engineer prior to recordation of the map. The Maintenance Association shall be responsible for the maintenance of all private utilities, the common access driveway, storm water treatment areas, and other common areas not within the area of a dedicated public street and facilities on the site. The project Maintenance Agreement shall include an exhibit showing the location of all the common private improvements to be maintained by the Maintenance Association. The City shall be granted the rights and remedies of the association, but not the obligation, to enforce the maintenance responsibilities of the property owners association.
- 14.The project developer shall create private storm drainage easements, as necessary, across the project for the benefit of the individual lots, subject to the review and approval of the City Engineer.

15. The project developer shall create public service easements (PSE) and private utility easements, as necessary, across the project for the benefit of the individual lots, subject to the review and approval of the City Engineer.
16. The applicant shall post with the City, prior to approval of the final map, a separate labor and material bond, performance bond and maintenance bond for the full value of all subdivision improvements. This bond shall be in a standard form approved by the City Attorney and shall be in an amount satisfactory to the City Engineer.
17. Prior to recordation of the map, a deed restriction shall be recorded on all lots covered by this approval. Wording for all disclosures, deed restrictions, and clauses shall be submitted to the City Attorney for review and approval before City Council approval of the first map for this development and shall be recorded concurrently after recordation of Final Map recorded by separate instrument.
18. Any dedications, open offers of dedication, or grants of easements to the city may be dedicated and accepted on the face of the map. Agreement or other required items shall be recorded as separate documents concurrently after recordation of the Final Map.
19. The in-lieu park dedication fees shall be paid to the City prior to approval of the map, at the rate then in effect, for the total number of buildable lots on the map, unless this requirement has been otherwise satisfied.
20. Prior to approval of the Final Map, the applicant developer shall comply with all applicable conditions of outside agencies having jurisdiction.
21. Prior to the first plan check, the applicant's engineer/surveyor shall submit a preliminary copy of the Final Map along with a preliminary copy of the title report and a copy of the adjoining deeds and/or recorded maps to the City. The City will forward these documents to its consultant who will estimate the cost for examining the map and certifying that the map is technically correct and in accordance with Section 66442 of the California Subdivision Map Act. After the consultant has provided a cost estimate, the applicant's engineer/surveyor may submit the first plan check along with a deposit for these costs along with all other standard plan check fees. Any unused portion of the estimate will be returned to the applicant after the map is recorded. Similarly, if the applicant withdraws their application in writing prior to the consultant having performed the work, any unused portion of the deposit will be returned to the applicant. Conversely, should consultant's estimate be insufficient to cover all of the consultant's time, the applicant will be required to pay the City the difference between the estimate and the actual cost prior to submittal of the map for the City Engineer's approval.

22. At the time the applicant/responsible party submits the fee for the consultant map review, the applicant/responsible party shall also submit the following information to the City Engineer for review and approval:
- a. Two prints of the Final Map.
 - b. One copy of the preliminary title report.
 - c. One set of the computer closures.
 - d. One legible copy of the latest recorded deed for the property being subdivided.
 - e. One legible copy of the recorded deeds for each of the adjacent properties unless those properties are part of a recorded map which has been recorded within the last seven years; and
 - f. One legible copy of the Recorded Final map, Parcel Map, or Record of Survey used to prepare this Parcel Map.
23. When the map is submitted for the City Engineer's signature, the applicant shall provide the City with an electronic copy of the Final Map in AutoCAD format.
24. The developer's title company shall record the Final Map with the Alameda County Recorder's Office. The project developer shall provide the City with a bond copy of the recorded map with all recording data shown.
25. The developer's title company shall record the CC&R's, Maintenance Agreement, any grant deeds or easements, and any other required documents concurrently after recordation of the Final Map with the Alameda County Recorder's Office. After the recording of these documents the City shall be provided with a legible recorded copy.
26. The project developer shall comply with the recommendations of the project's geotechnical consultant. The project developer's geotechnical consultant shall review and approve all foundation, retaining wall, and drainage geotechnical aspects of the final development plans to ensure that the recommendations have been properly incorporated into the development. The consultant shall certify by writing on the plans or as otherwise acceptable to the City Engineer that the final development plan is in conformance with the geotechnical report approved with the project.
27. The project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer including all supporting information and design criteria (including but not limited to any peer review comments), all final grades and drainage control measures, including concrete-lined V-ditches, to protect all cut and fill slopes from surface water overflow, etc., shall be submitted as part of the

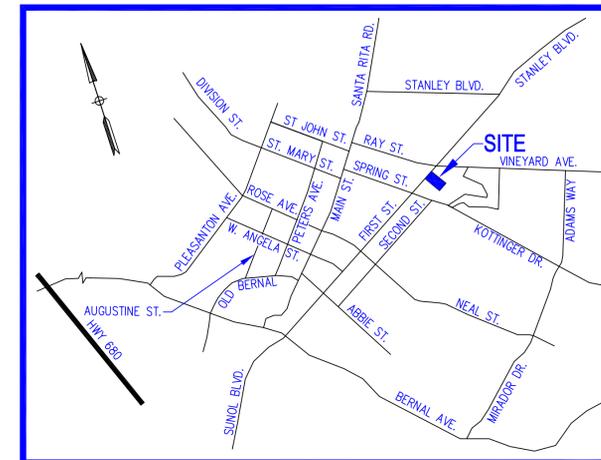
improvement plans. This plan shall be subject to the review and approval of the City Engineer prior to the issuance of a grading permit by Engineering Division.

28. All existing drainage swales that are filled shall have sub drains installed unless otherwise approved by the City Engineer and the developer's soils engineer. All sub drains shall have tracer wire along entire length of the sub drains and cleanouts installed with metal cap at the beginning of the pipe and at locations needed for maintenance. The end of the pipe shall terminate in a storm drain or other storm drain outfall, subject to the approval of the City Engineer. The applicant's engineer shall submit a final sub drain location map to the City Engineer prior to acceptance of the public improvements and/or project. It shall be the responsibility of the homeowner to relocate a sub drain if during the excavation of a pool or other subsurface structure a sub drain is encountered. All owners within the subdivision shall receive notice of the presence of these sub drains. The City Attorney shall approve said notice.
29. The project developer shall include erosion control measures, prepared and signed by the Qualified Storm Water Pollution Prevention Plan Developer (QSD), on the final grading plan, subject to the review of the City Engineer. This erosion control measures shall be as required by the State current NPDES permit. The project developer is responsible for ensuring that the contractor is aware of such measures. All cut and fill slopes shall be revegetated and stabilized as soon as possible after completion of grading, in no case later than October 15. No grading shall occur between October 15 and April 15 unless approved erosion control measures are in place, subject to the approval of the project QSD and the City Engineer. Such measures shall be maintained until such time as a permanent landscaping is in place, site is stabilized and Notice of Completion (NOC) has been accepted by the State Water Board and/or City.
30. There shall be no direct roof leaders connected to the street gutter or storm drain system.
31. All retaining walls along the street shall be placed behind the Public Service Easement (PSE), unless otherwise approved by the City Engineer.
32. A water meter shall be provided to each lot of record within the development unless otherwise approved by the City Engineer.
33. The project developer shall improve the existing street abutting the project in accordance with the City of Pleasanton Municipal code 19.36.050, Streets and thoroughfares-Developer's obligation for improvement.
34. The project developer shall construct vertical P.C.C. curbs and gutters within this development unless otherwise approved by the City Engineer. When the sidewalk is adjacent to the curb and gutter, they shall be poured monolithically.

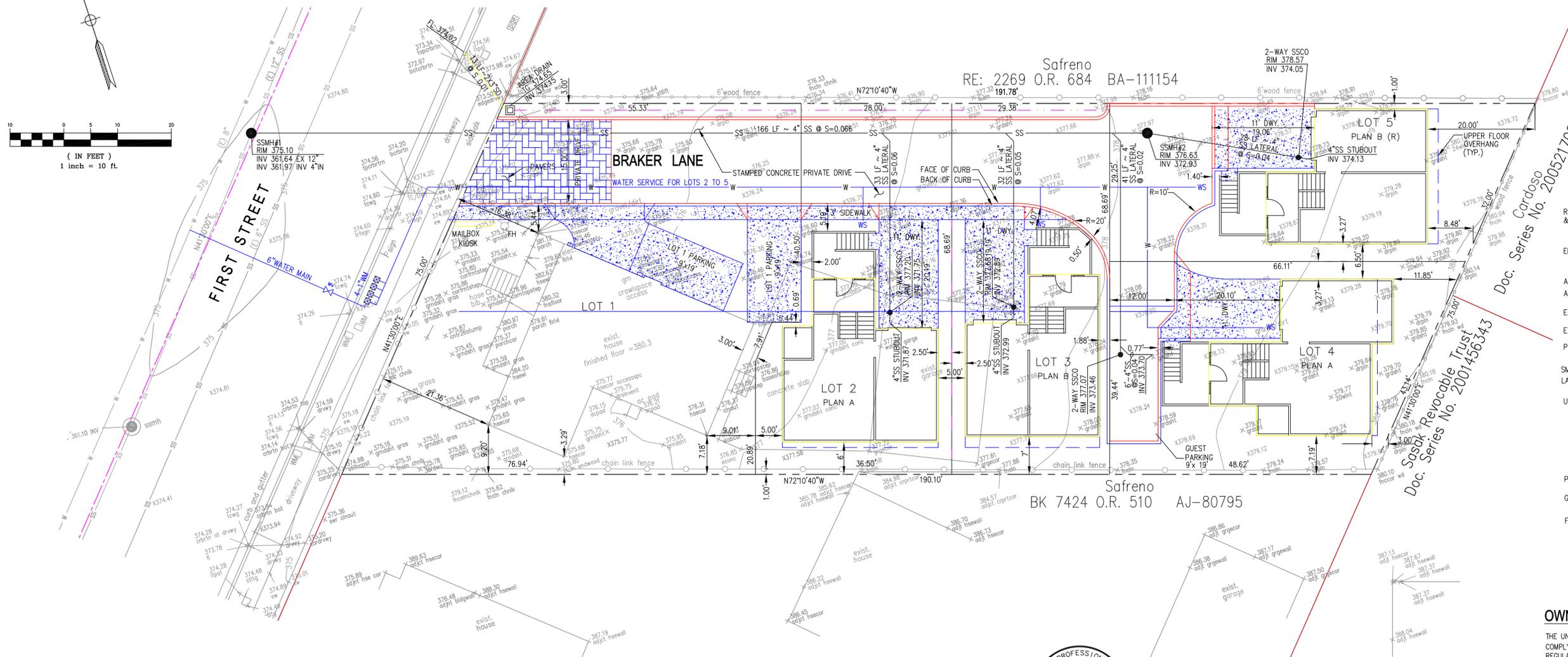
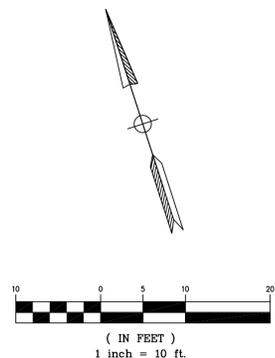
35. The curb and gutter along the street shall have a sub drain installed at either the back of the curb or lip of gutter at the discretion of the City Engineer. This detail shall be shown on the improvement plans. Said drains shall be connected to the storm drain system or drained by other means acceptable to the City Engineer.
36. All existing septic tanks or holding tanks, if any shall be properly abandoned, pursuant to the requirements of the Alameda County Department of Health Services prior to the start of grading operations, unless specifically approved by the City Engineer.
37. This approval does not guarantee the availability of sufficient water and/or sewer capacity to serve the project.
38. The project developer shall submit detailed landscape and irrigation plans as part of the improvement plans. The irrigation plan shall provide for automatic controls.
39. The project developer shall be responsible for the installation of the street lighting system serving the development. The street lights shall be of type and poles subject to review and approval by Community Development Director with poured in place bases as per City requirements and PG&E standard details, unless otherwise specifically approved. The lighting system design shall conform to the Illuminating Engineering Society (IES). Approval for the number, location, and type of electroliers shall be subject to the review and approval of the City Traffic Engineer.
40. The improvement plans for this development shall contain signage and striping plans that are subject to the approval of the City Traffic Engineer.
41. All utility lines shall be installed in conduit. Only PG&E switch enclosures or capacity banks can be installed above ground provided the units are screened with landscaping to the satisfaction of the Director of Community Development.
42. All dry utilities (electric power distribution, gas distribution, communication service, Cable television, street lights and any required alarm systems) required to serve existing or new development shall be installed in conduit, underground in a joint utility trench unless otherwise specifically approved by the City Engineer.
43. The project developer shall arrange and pay for the geotechnical consultant to inspect and approve all foundation, retaining, and wall and drainage geotechnical aspects of project construction. The consultant shall be present on site during grading and excavation operations. The results of the inspections and the as-built conditions of the project shall be certified in writing by the geotechnical consultant for conformance to the approved plans and geotechnical report and submitted to the City Engineer for review and approval prior to occupancy.

44. The encroachment permit for haul route for all materials and equipment to and from this development shall be approved by the City Engineer prior to the issuance of any permit by City Building Division or Engineering Division.
45. Any damage to existing street improvements during construction on the subject property shall be repaired to the satisfaction of the City Engineer at full expense to the project developer. This shall include slurry seal, overlay, or street reconstruction if deemed warranted by the City Engineer.

END



VICINITY MAP
NTS



EARTHWORKS

VOLUME OF CUT = 478 CU.YD.
VOLUME OF FILL = 0 CU.YD.

CONTRACTOR TO VERIFY ALL EARTHWORK QUANTITIES PRIOR TO START OF GRADING WORK.

GENERAL NOTES:

- RECORD OWNER & SUBDIVIDER: GORDON W. BRAKER AND LESLIE BRAKER
1666 SUGARLOAF DRIVE
SAN MATEO, CA. 94403
- ENGINEER: AL PASCUAL & ASSOCIATES, INC.
841 MONTEVINO DRIVE
PLEASANTON, CA 94566
- A.P.N.: 094-0095-087
- ADDRESS: 4238 FIRST STREET, PLEASANTON, CA.
- EXISTING ZONING: RM-2500 (MULTIPLE FAMILY RESIDENTIAL)
- EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL
- PROPOSED ZONING: PUD-HDR (PLANNED UNIT DEVELOPMENT - HIGH DENSITY RESIDENTIAL DISTRICT)
- SMALLEST LOT: 2,017.72 S.F.
- LARGEST LOT: 4,605.89 S.F.
- UTILITIES: WATER - CITY OF PLEASANTON
SANITARY SEWER - CITY OF PLEASANTON
ELECTRIC - P.G.&E.
GAS - P.G.&E.
TELEPHONE - A&T
CABLE-TV - COMCAST
FIRE PROTECTION - LIVERMORE-PLEASANTON FIRE DEPARTMENT
- PROPOSED NO. OF LOTS: 5 LOTS
- GROSS AREA: 13,161 S.F. OR (0.309 ACRES)
- FLOOD ZONE: ZONE C AS SHOWN ON COMMUNITY PANEL NUMBER 060012 0004 D DATED SEPTEMBER 19, 1984

OWNER'S CERTIFICATION:

THE UNDERSIGNED AGREE TO THE FILING OF SAID MAP AND AGREE TO COMPLY WITH THE PROVISIONS TO THE CITY OF PLEASANTON SUBDIVISION REGULATIONS AND THE STATE MAP ACT AS THEY APPLY TO PROCESSING AND APPROVAL OF SAID VESTING TENTATIVE MAP.

BY: GORDON W. BRAKER _____ DATE _____
BY: LESLIE BRAKER _____ DATE _____



ENGINEER CERTIFICATE

PREPARED UNDER THE SUPERVISION OF:

ALEJO M. PASCUAL, JR. RCE 27629 EXPIRES 3-31-14

AL PASCUAL & ASSOCIATES, INC.

841 Montevino Drive, Pleasanton, Ca. 94566 Tel (925) 487 4163 al@apa-inc.net

ENGINEERS
SURVEYORS
PLANNERS

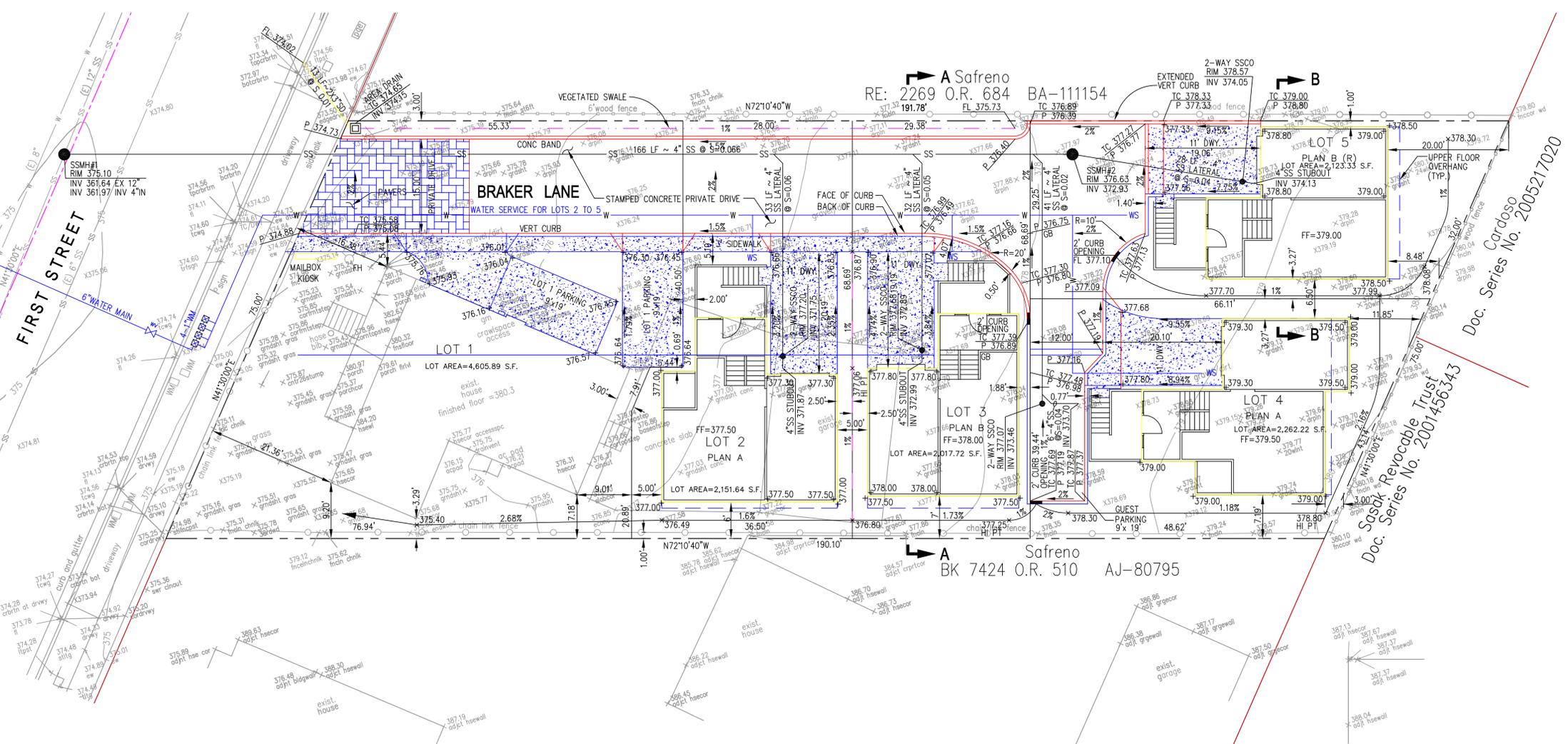
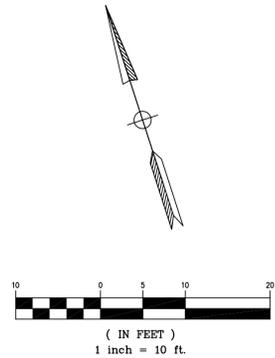
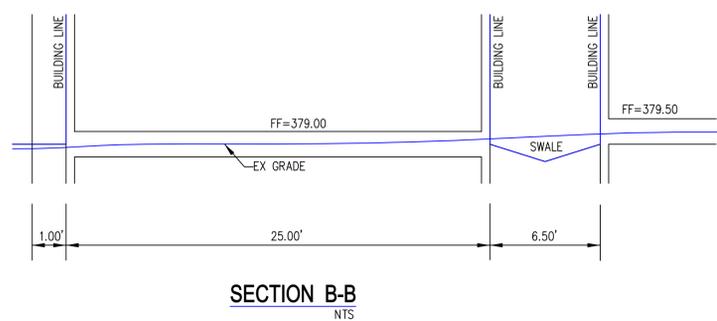
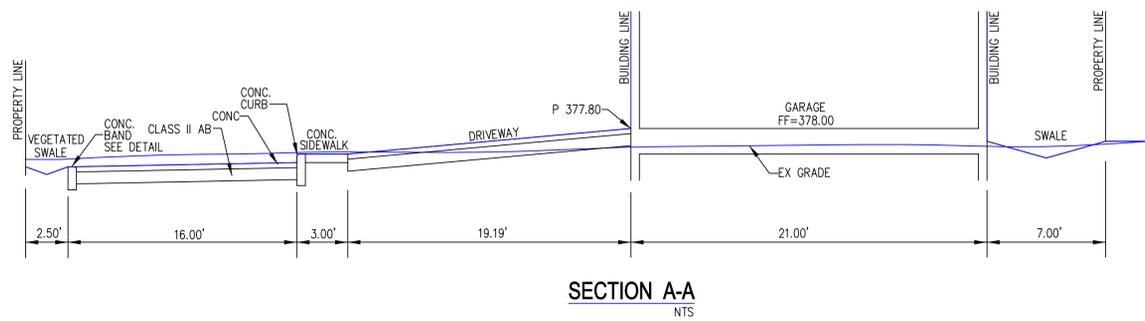
**VESTING TENTATIVE
TRACT MAP 7975, HERITAGE GROVE
4238 FIRST STREET**

PLEASANTON ALAMEDA COUNTY CALIFORNIA

DRAWN BY:	STAFF	DATE:	03/21/2008
DESIGNED BY:	LF	DWG NAME:	2811MPR
CHECKED BY:	AP	PG NAME:	TENTATIVE MAP
JOB NO:	2811	REVISED:	03/06/2013
SCALE:	AS SHOWN	PRINTED:	03/06/2013

SHEET NO.
1
1 OF 3 SHEETS

NO.	BY	DATE	REVISIONS	APPROVED



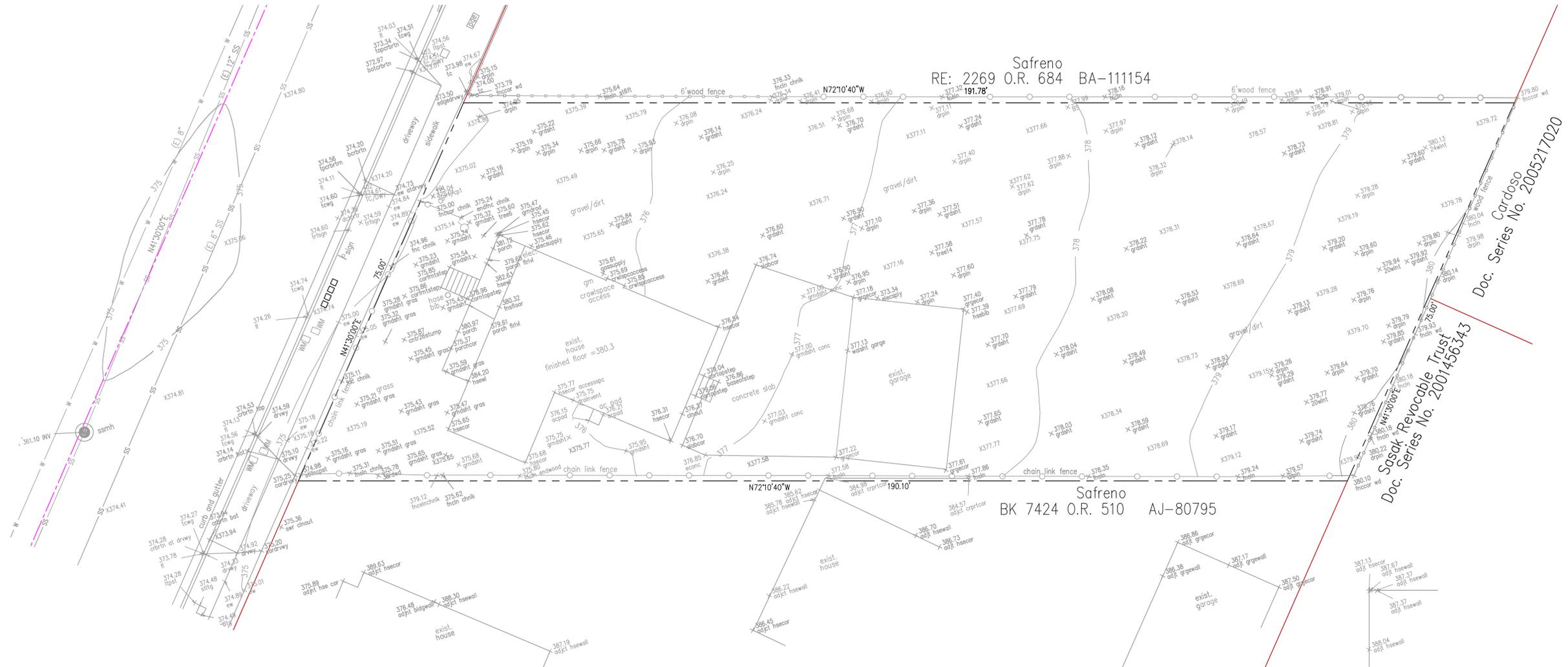
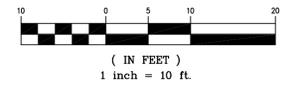
NO.	BY	DATE	REVISIONS	APPROVED

ENGINEER CERTIFICATE
 PREPARED UNDER THE SUPERVISION OF:
 ALEJO M. PASCUAL, JR. RCE 27629 EXPIRES 3-31-12

AL PASCUAL & ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 841 Montevino Drive, Pleasanton, Ca. 94566 Tel (925) 487 4163 al@apa-inc.net

PRELIMINARY GRADING AND DRAINAGE PLAN
 TRACT MAP 7975, HERITAGE GROVE
 4238 FIRST STREET
 PLEASANTON ALAMEDA COUNTY CALIFORNIA

DRAWN BY:	STAFF	DATE:	03/21/2008	SHEET NO.
DESIGNED BY:	LF	DWG NAME:	2811IMPR	2
CHECKED BY:	AP	PG NAME:	TENTATIVE MAP	
JOB NO:	2811	REVISED:	03/06/2013	2 OF 3 SHEETS
SCALE:	AS SHOWN	PRINTED:	03/06/2013	



Doc. Series No. 2005217020
Sasaki Revocable Trust
Doc. Series No. 2001456343



NO.	BY	DATE	REVISIONS	APPROVED

ENGINEER CERTIFICATE
 PREPARED UNDER THE SUPERVISION OF:
 ALEJO M. PASCUAL, JR. RCE 27629 EXPIRES 3-31-14

AL PASCUAL & ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 841 Montevino Drive, Pleasanton, Ca. 94566 Tel (925) 487 4163 al@apa-inc.net

TOPOGRAPHIC SURVEY
 TRACT MAP 7975, HERITAGE GROVE
 4238 FIRST STREET
 PLEASANTON ALAMEDA COUNTY CALIFORNIA

DRAWN BY: STAFF	DATE: 03/21/2008	SHEET NO. 3
DESIGNED BY: LF	DWG NAME: 2811MPR	3
CHECKED BY: AP	PG NAME: TOPO SURVEY	
JOB NO: 2811	REVISED:	3 OF 3 SHEETS
SCALE: AS SHOWN	PRINTED: 03/06/2013	

PROPERTY OF 4238 FIRST L.L.C.

PLANNED UNIT DEVELOPMENT

PLEASANTON, CALIFORNIA
ALAMEDA COUNTY



GRAPHICS, ARTS & PRESENTATIONS

365-276-1784 Office
410-601-8806 Fax
mivn@midaspring.com

POST OFFICE BOX 42685
SAN FRANCISCO, CALIFORNIA 94142

OWNER/DEVELOPER

4238 FIRST L.L.C.

P.O. BOX 564
SUNOL, CALIFORNIA 94586
(925) 963-0569

SITE INFORMATION

**FIRST STREET
PLANNED UNIT
DEVELOPMENT
HOMES**

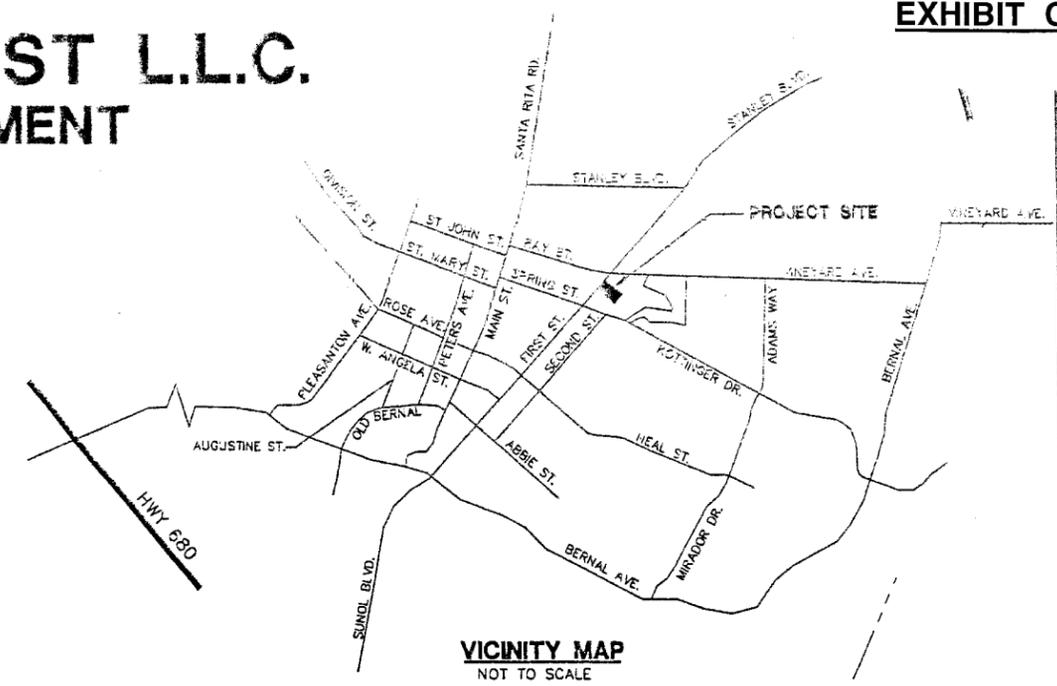
DESIGN TYPE

DESIGN REVIEW

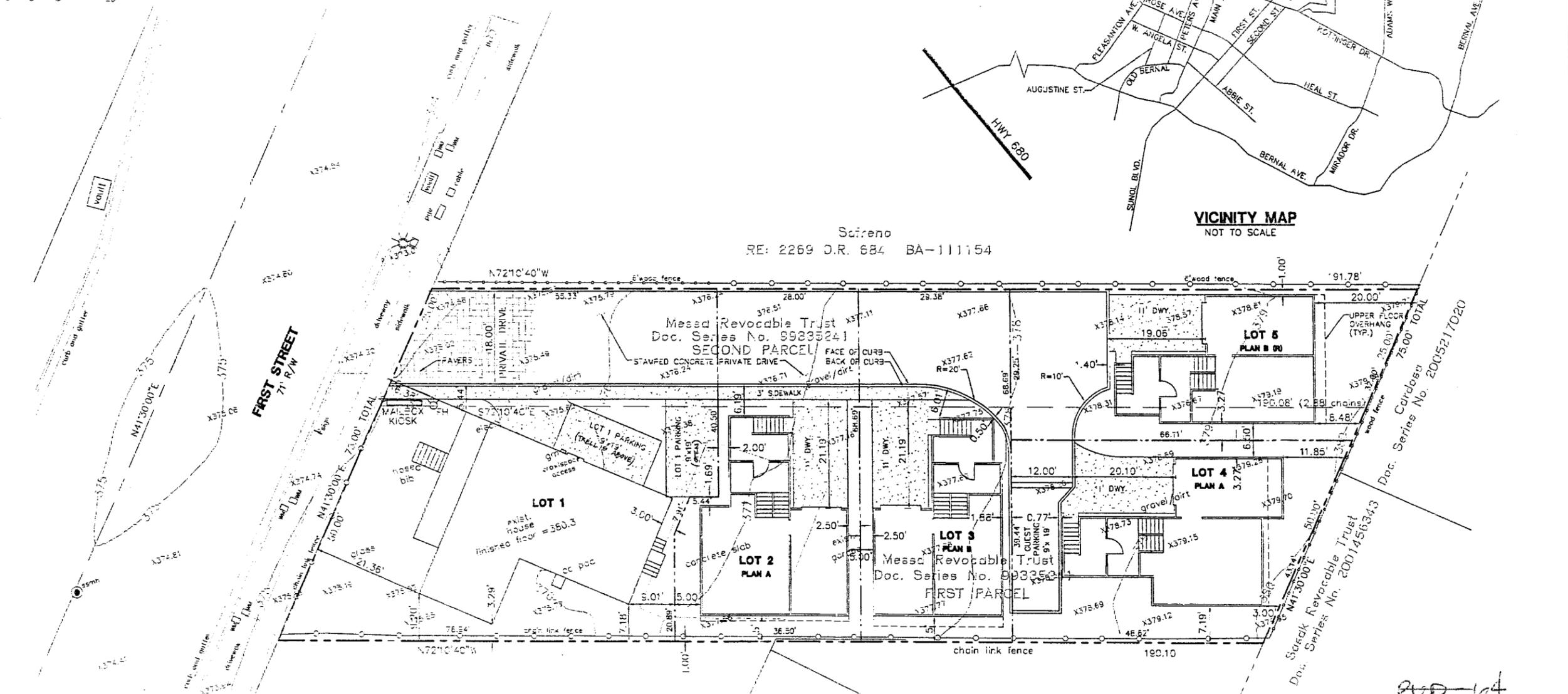
SHEET TITLE

**SITE PLAN &
LOT SUMMARY**

REVISIONS:



Saireno
RE: 2269 O.R. 684 BA-111154



SITE PLAN
SCALE: 1"=10'

LOT SUMMARY

LOT NUMBER	1	2 "A"	3 "B"	4 "A"	5 "B"
LOT SIZE	4505.89 SQ. FT.	2151.84 SQ. FT.	2017.72 SQ. FT.	2282.22 SQ. FT.	2123.33 SQ. FT.
UNIT SIZE	1210.05 SQ. FT.	1919.0 SQ. FT.	1713.0 SQ. FT.	1919.0 SQ. FT.	1713.0 SQ. FT.
GARAGE SIZE	0.0 SQ. FT.	230.44 SQ. FT.	230.44 SQ. FT.	230.44 SQ. FT.	230.44 SQ. FT.
P.A.R. (FLOOR AREA RATIO)	26%	29%	83%	82%	81%
OPEN SPACE	2127.99 SQ. FT.	269.68 SQ. FT.	378.6 SQ. FT.	380.26 SQ. FT.	380.26 SQ. FT.
DECK	117.12 SQ. FT.				
PORCH	55.75 SQ. FT.	69.17 SQ. FT.	70.28 SQ. FT.	59.17 SQ. FT.	70.28 SQ. FT.

MAIN SETBACKS					
FRONT	15'	5'-0"	0'	0'	0'
REAR (L.F.F.)	13'-0", 5'-0"	(5'-0") 2'-6"	(2'-6") 1'-0"	0'	1'-0"
REAR	3'-0"	5'-0"	5'-0"	3'-0"	3'-0"
SIDE-T	19'-0"	5'-0"	14'-0"	5'-0"	5'-0"

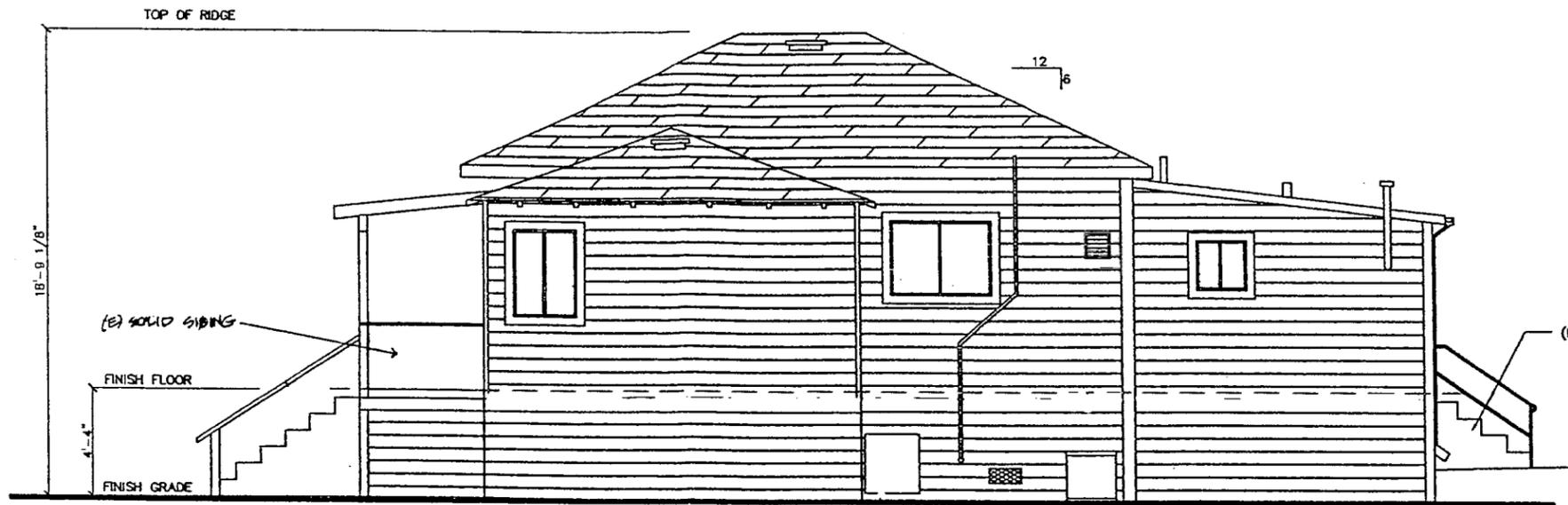
- 2 FOOTPRINT 821.50 SF
FOOTPRINT AREA RATIO 38%
- 3 FOOTPRINT 742.09 SF
FOOTPRINT AREA RATIO 36%
- 4 FOOTPRINT 821.50 SF
FOOTPRINT AREA RATIO 36%
- 5 FOOTPRINT 742.09 SF
FOOTPRINT AREA RATIO 35%

AREA ANALYSIS

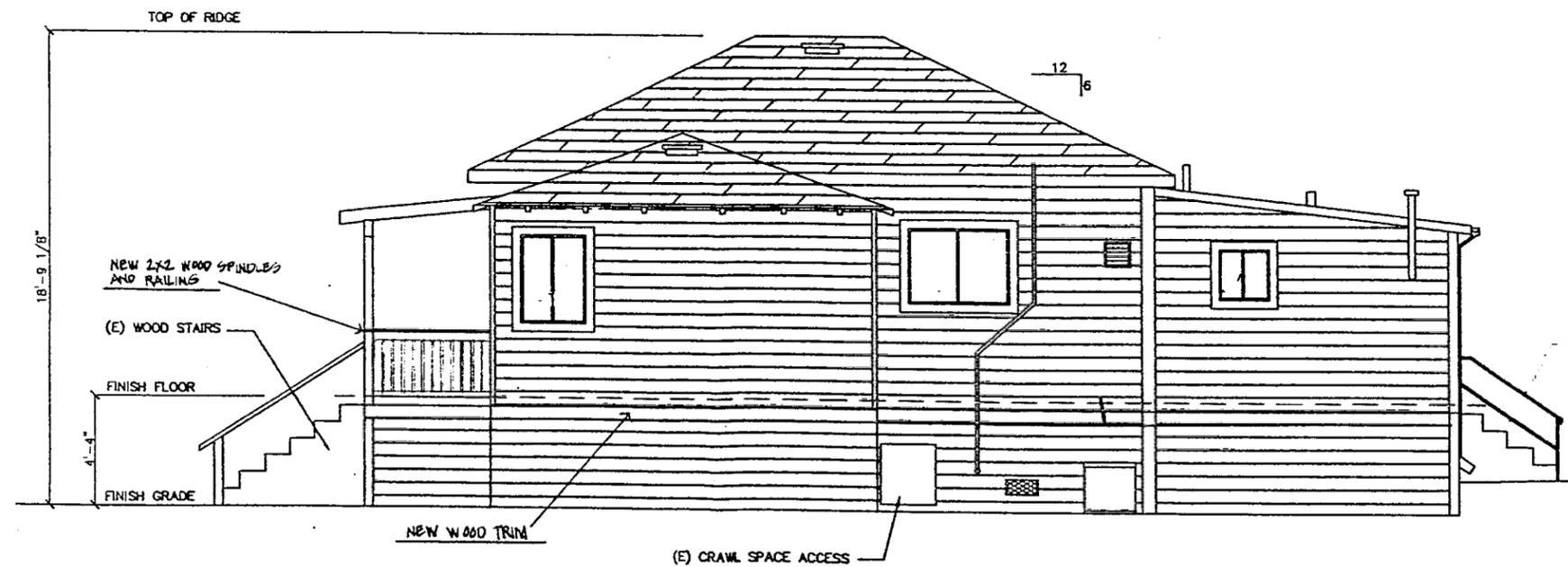
PLAN	A	A	B	BR (E)/HOUSE
LOT SIZE	4505.89	2151.84	2017.72	2282.22
FLR.1	478 SF	478 SF	405 SF	1210 SF
FLR.2	716 SF	716 SF	405 SF	1210 SF
FLR.3	716 SF	716 SF	405 SF	1210 SF
TOTAL	1910 SF	1910 SF	1215 SF	1210 SF
GARAGE	230 SF	230 SF	230 SF	230 SF
BEDRMS.	3	3	2	2
BATHS	1	1	1	1

200-64
200-100-100
CITY OF PLEASANTON
PLANNING DEPT.

DESIGN BY: CH
DRAWN BY: MLW
DATE: SEPTEMBER, 2007
SCALE: 1"=10'
JOB NUMBER: PFD22E
DRAWING NO.



**EXISTING
SOUTH SIDE ELEVATION**
SCALE: 1/4"=1'-0"



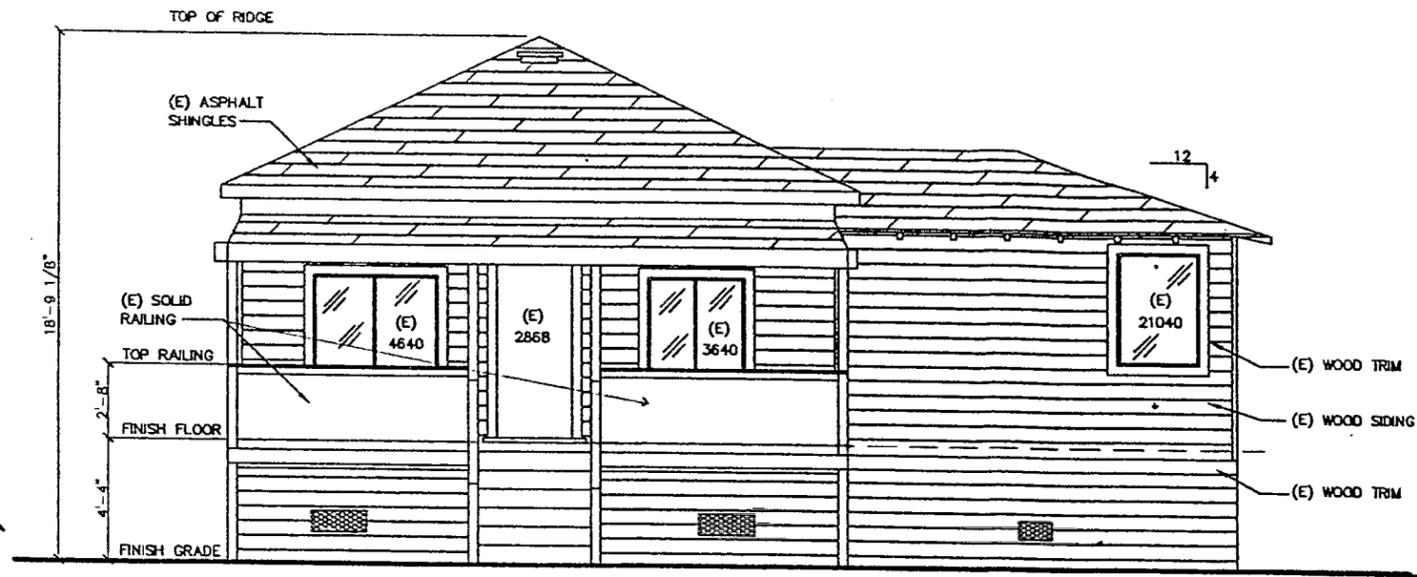
**NEW
SOUTH SIDE ELEVATION**
SCALE: 1/4"=1'-0"

CHARLES HUFF, A.I.A.
ARCHITECT
OLD PLEASANTON TRAIN STATION
30 WEST NEAL STREET, SUITE 200
PLEASANTON, CA 94566
(925) 462-9226

Design	12/17/22
Job No.	
Drawn	ZRL
Revisions	

4238 FIRST STREET P.U.D.

Sheet No.

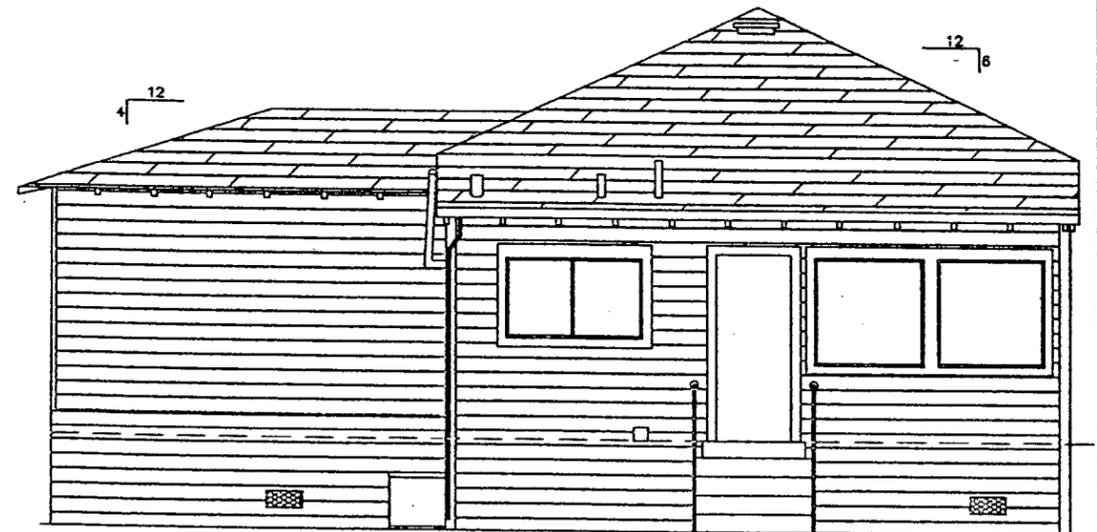


**EXISTING
WEST FRONT ELEVATION**
SCALE: 1/4"=1'-0"



* CHANGES (1) REPLACE SOLID RAILING W/ (1) 1/2" WOOD SPINDLES & DETAILED RAILING
(2) EMPHASIZE WOOD TRIM AT FIRST FLOOR LINE BY COLOR DIFFERENCE

**NEW
WEST FRONT ELEVATION**
SCALE: 1/4"=1'-0"



**NEW
EAST REAR ELEVATION (NO CHANGE)**
SCALE: 1/4"=1'-0"

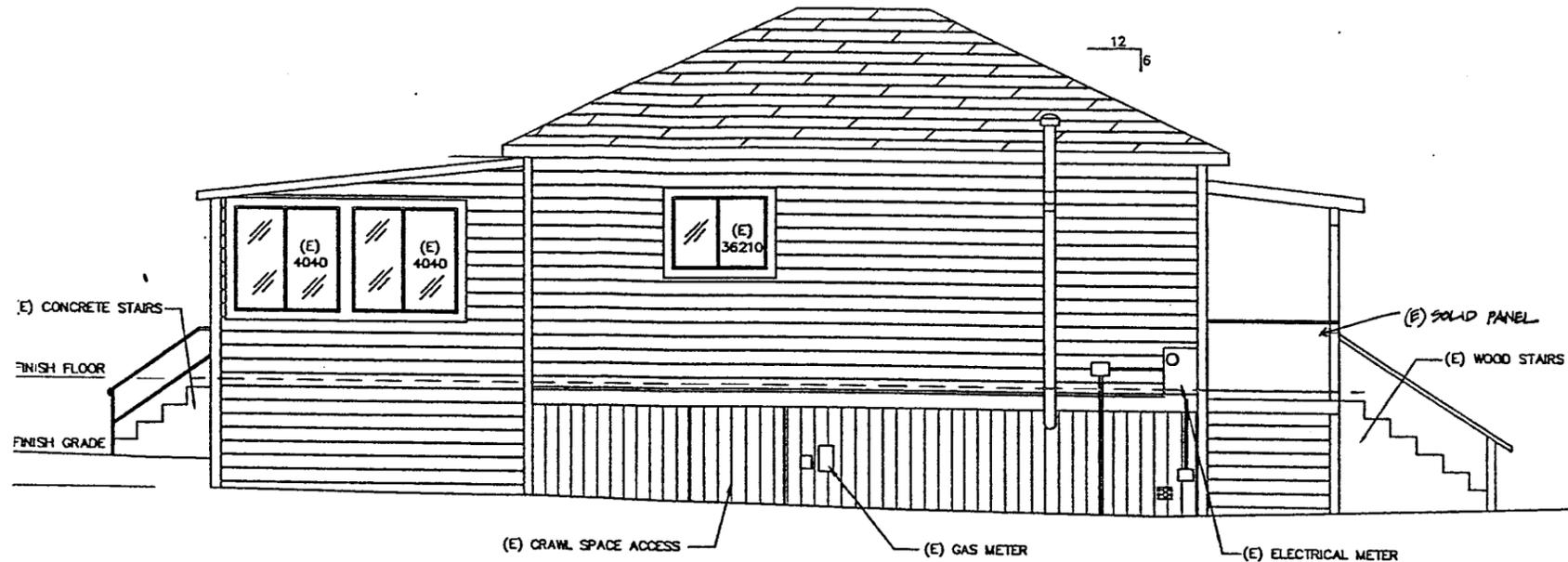
CHARLES HUFF, A.I.A.
ARCHITECT

OLD PLEASANTON TRAIN STATION
30 WEST NEAL STREET, SUITE 200
PLEASANTON, CA 94566
(925) 462-9226

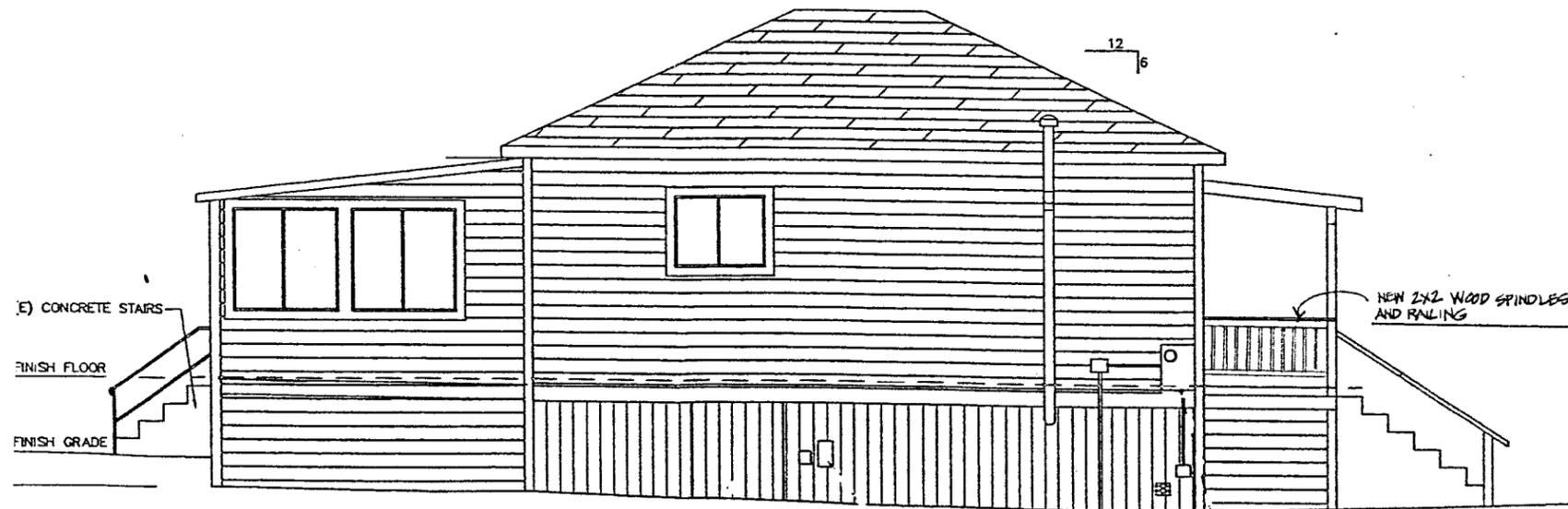
Project	Job No.	Drawn	Revisions

4238 FIRST STREET P.U.D

Sheet No.



EXISTING
NORTH SIDE ELEVATION
 SCALE: 1/4"=1'-0"



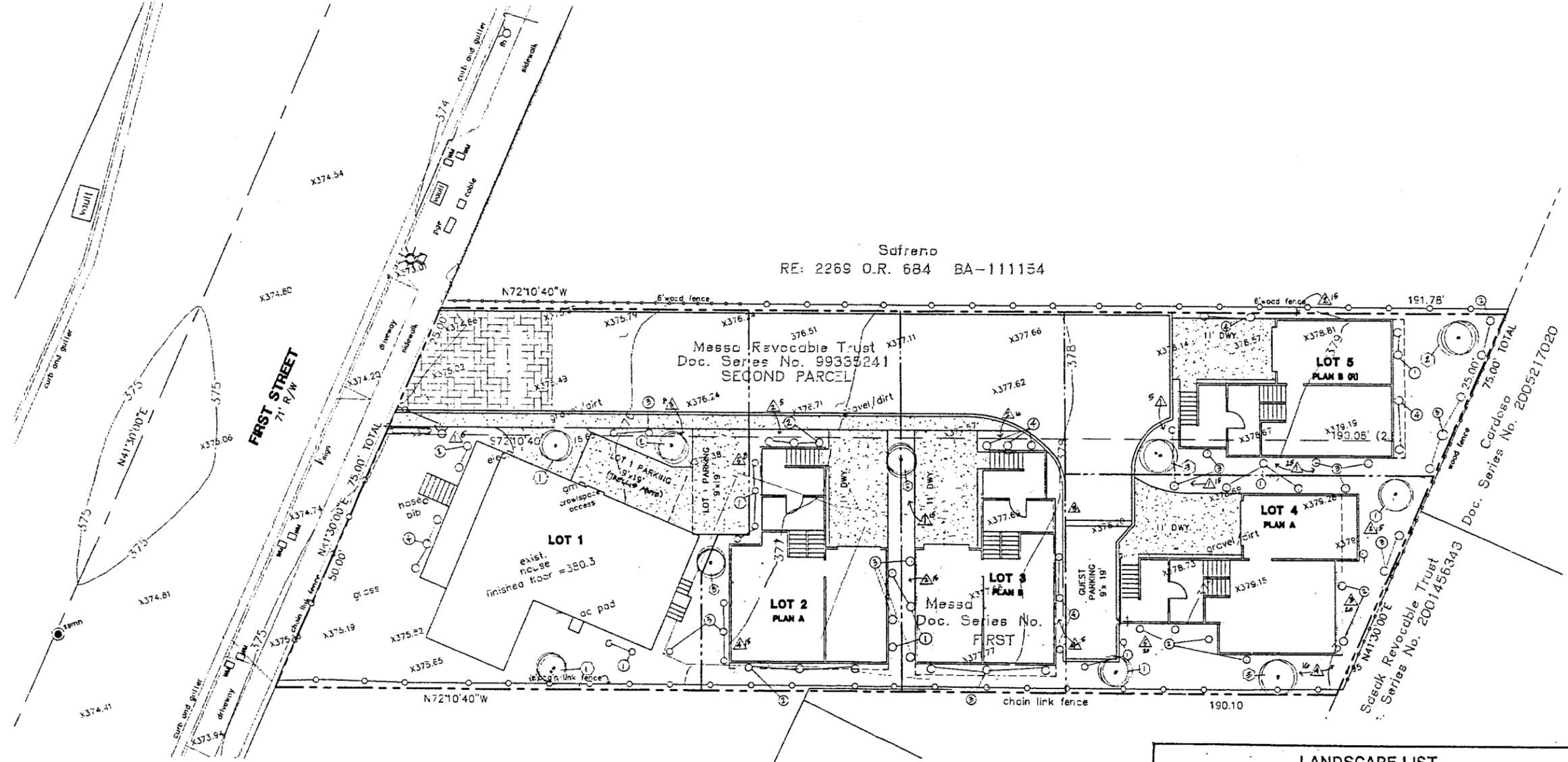
NEW
NORTH SIDE ELEVATION
 SCALE: 1/4"=1'-0"

CHARLES HUFF, A.I.A.
 ARCHITECT
 OLD PLEASANTON TRAIN STATION
 30 WEST NEAL STREET, SUITE 200
 PLEASANTON, CA 94566
 (925) 462-9226

DATE	BY	REVISIONS
02/17/21	JH	

4238 FIRST STREET P.U.D

Sheet No.



LANDSCAPE PLAN
SCALE: 1"=10'

LANDSCAPE LIST				
KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
①	4	24" BOX	PYRUS CALLERYANA	ARISTOURAT PEAR
②	3	24" BOX	CAITALPA TASHKENTENSIS	CHITALPA
⑤	3	24" BOX	LIGUSTRUM STRAHLIFLUA	AMERICAN SWEET GUM
SHURBS				
①	16	5 GAL.	PITTOSPORUM EUGENIODES	PITTOSPORUM
②	15	1 GAL.	VIBURNUM TINUS	LARUSTINUS
③	22	5 GAL.	DAPHNE ODORA	WINTER DAPHNE
④	13	1 GAL.	LOROPETALUM HAMAMELIDACEAE	LOROPETALUM
GROUND COVER				
△	60	1 GAL.	AJUGA REPTANS	AJUGA
△	50	1 GAL.	BERGENIA CRASSIFOLIA	BERGENIA
△	28	1 GAL.	SANTOLINA CHAMAEOPHYRESIS	SANTOLINA
△	46	1 GAL.	FICUS PUMILA	CREEPING FIG
△	28	1 GAL.	TIBBOUCHINA URVILLEANA	TIBBOUCHINA

OWNER/DEVELOPER
4238 FIRST LLC.
P.O. BOX 564
SUNOL, CALIFORNIA 94586
(925) 963-0569

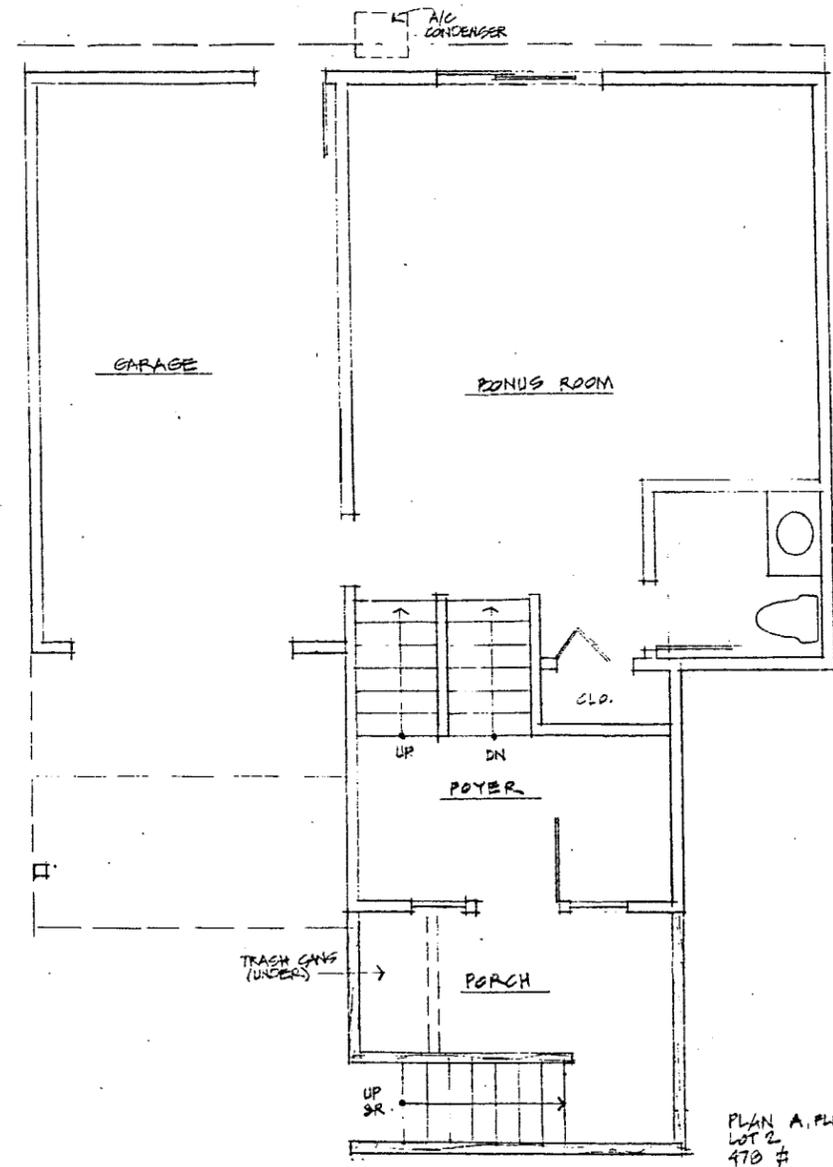
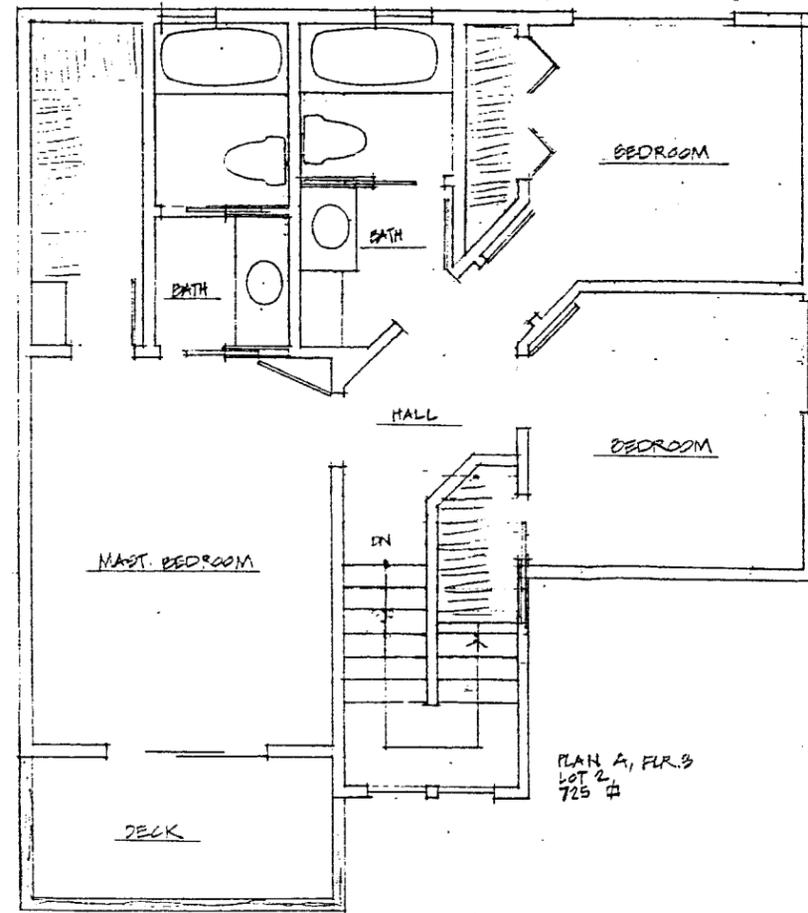
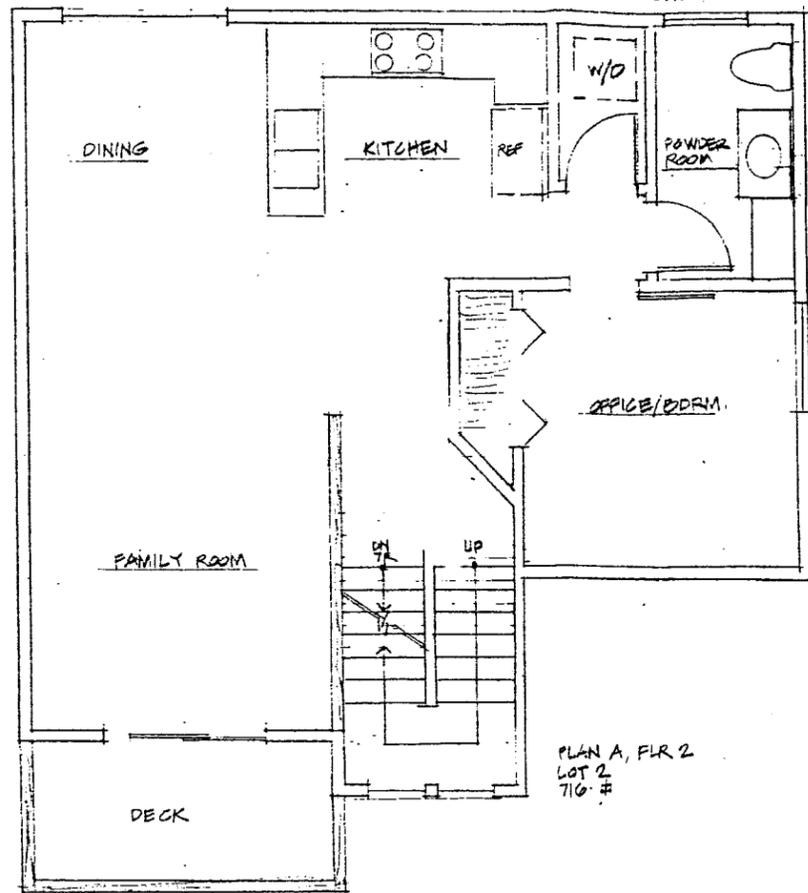
SITE INFORMATION
**FIRST STREET
PLANNED UNIT
DEVELOPMENT
HOMES**

DESIGN TYPE
DESIGN REVIEW

SHEET TITLE
LANDSCAPE PLAN

REVISIONS: 10/1/07

DESIGN BY: CH
DRAWN BY: M.W.H./CH
DATE: SEPTEMBER, 2007
SCALE: 1"=10'
JOB NUMBER: P10206
DRAWING NO.



LOT 2 A
TOTAL AREA = 1919 SF.

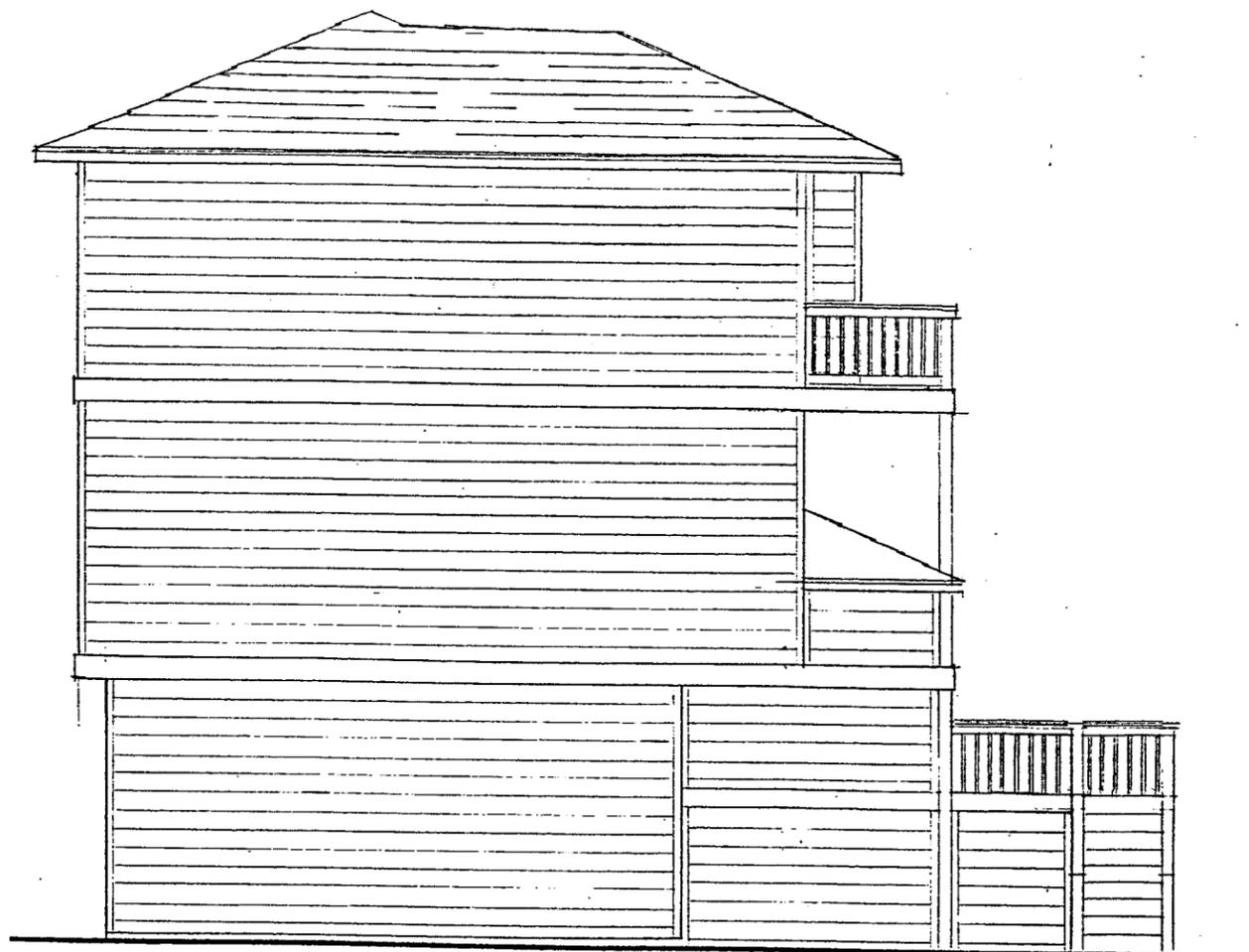
CHARLES HUFF, A.I.A.
ARCHITECT

OLD PLEASANTON TRAIN STATION
30 WEST NEAL STREET, SUITE 200
PLEASANTON, CA 94566
(925) 462-9226

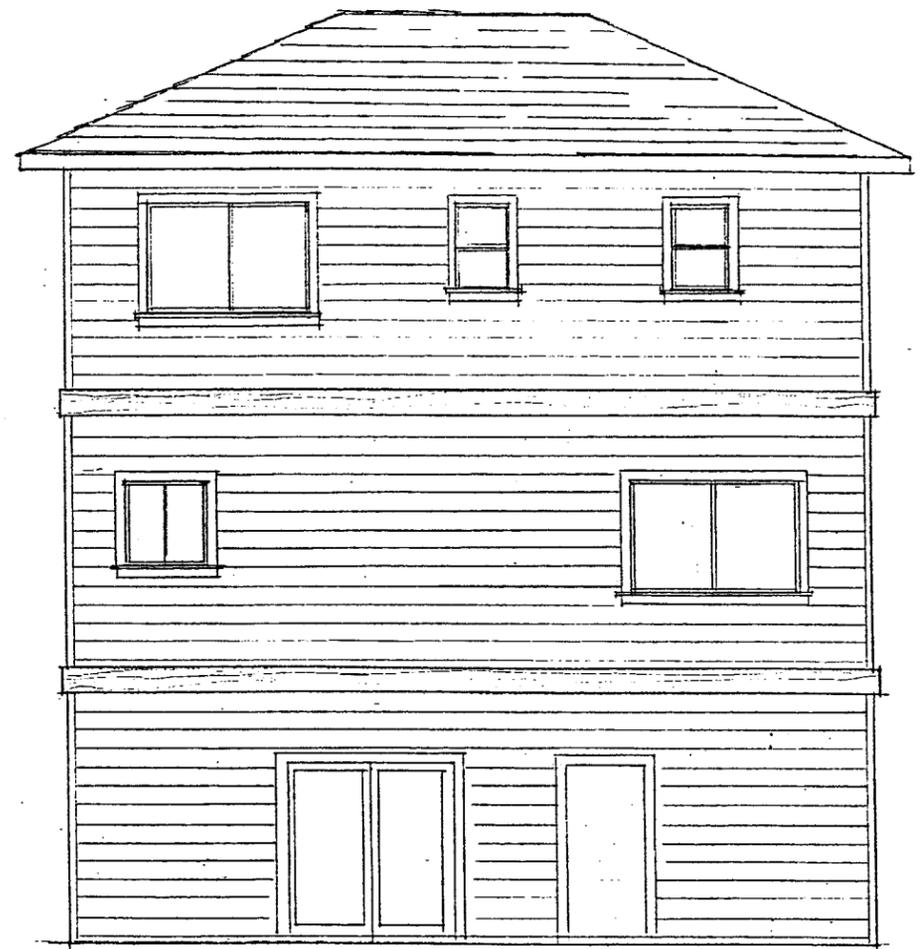
Drawn	Job No.
Revisions	

4238 FIRST STREET P.U.D.

Sheet No.



EAST

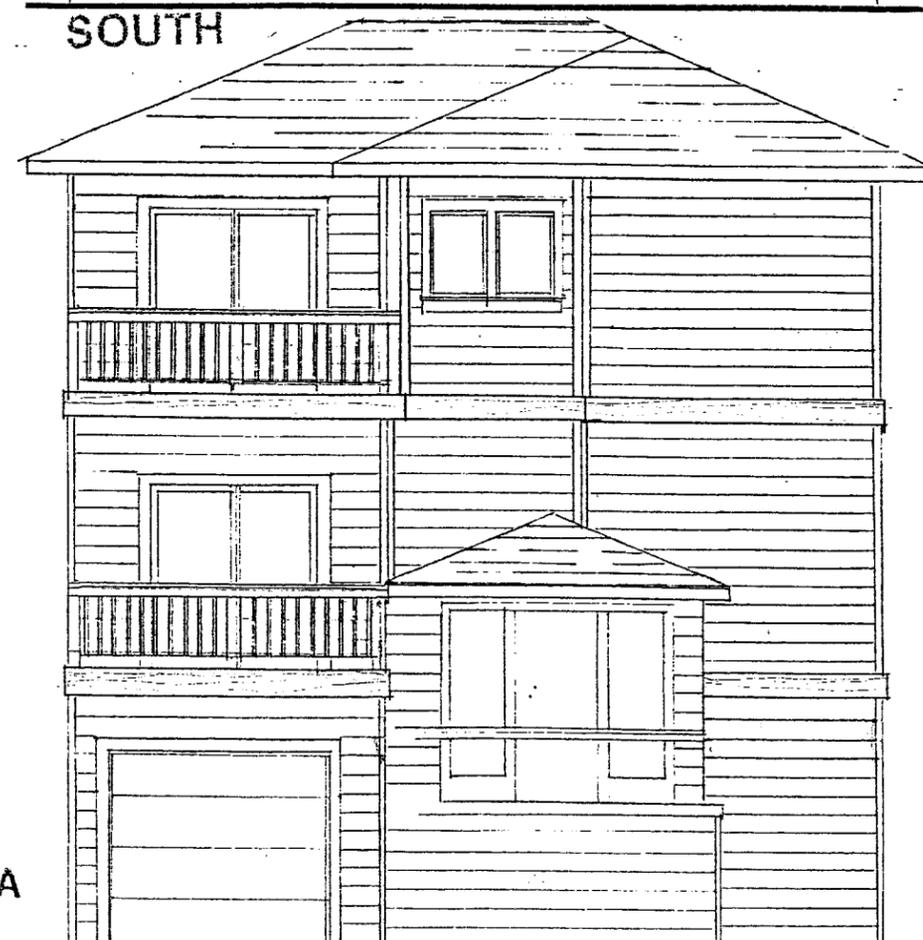


SOUTH



WEST ELEVATION

LOT 2 A



NORTH ELEVATION

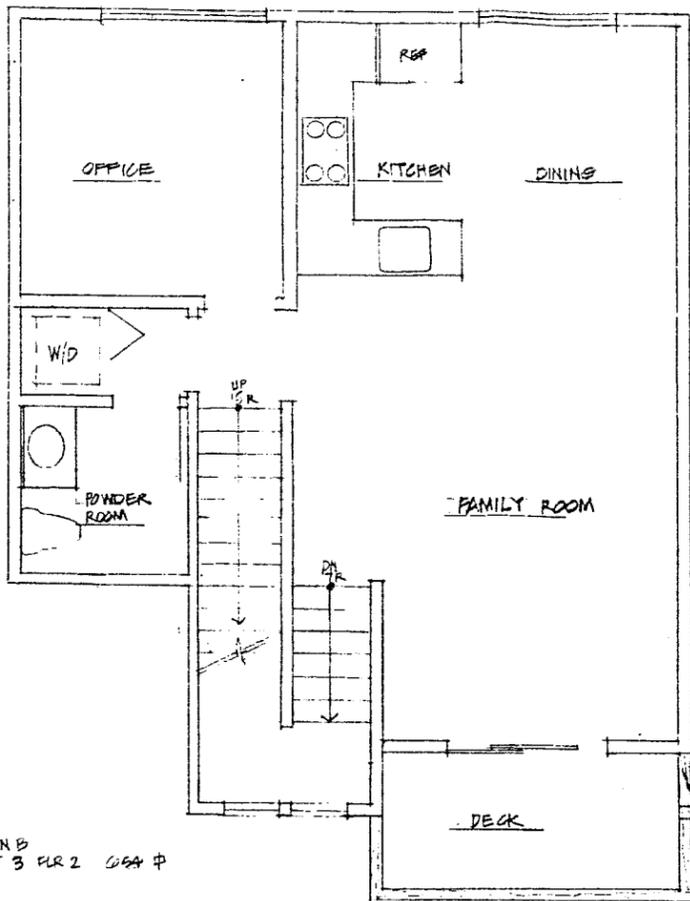
CHARLES HUFF, A.I.A.
ARCHITECT

OLD PLEASANTON TRAIN STATION
30 WEST NEAL STREET, SUITE 200
PLEASANTON, CA 94566
(925) 462-9226

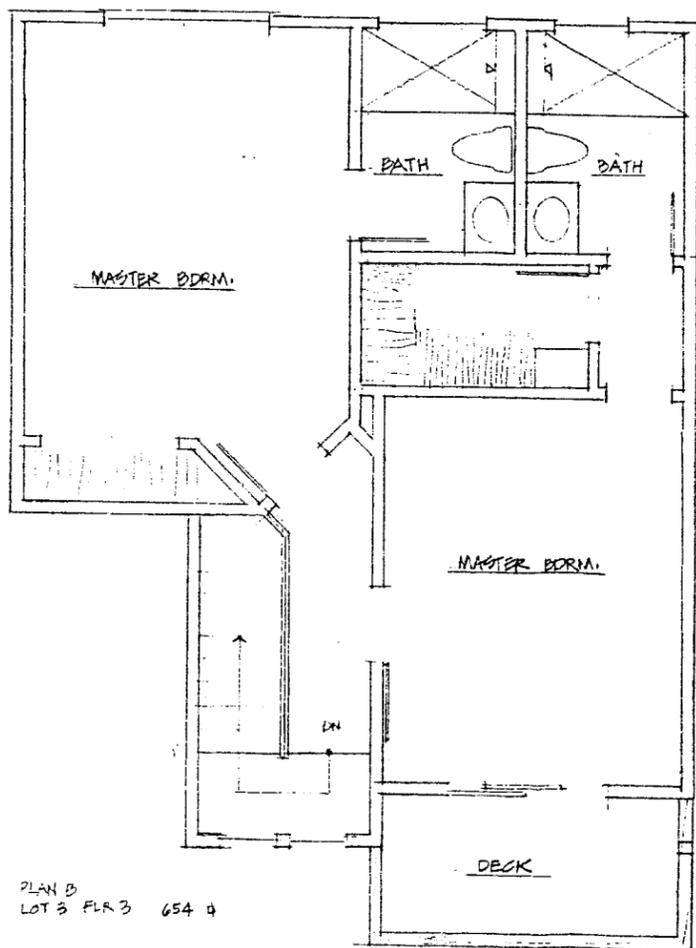
12/7/21
Job No.
Drawn
Revisions

4238 FIRST STREET P.U.D.

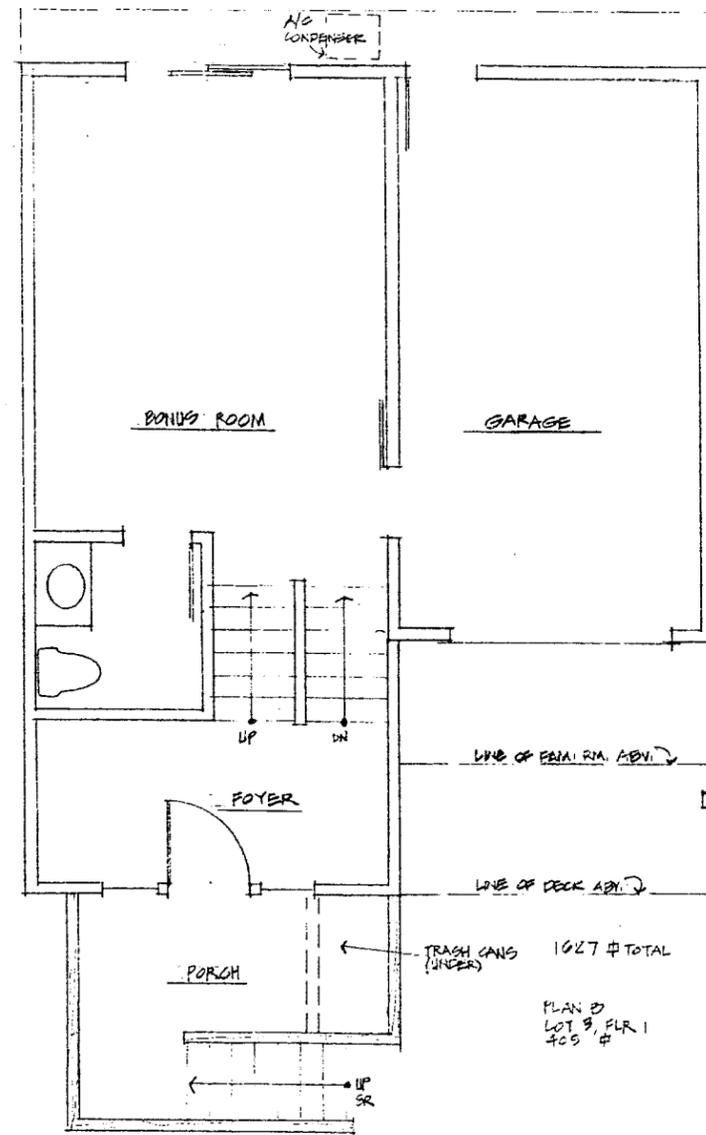
Sheet No.



PLAN B
LOT 3 FLR 2 654 #



PLAN B
LOT 3 FLR 3 654 #



PLAN B
LOT 3, FLR 1
400 #

LOT 3 B

TOTAL AREA = 1713 S.F.

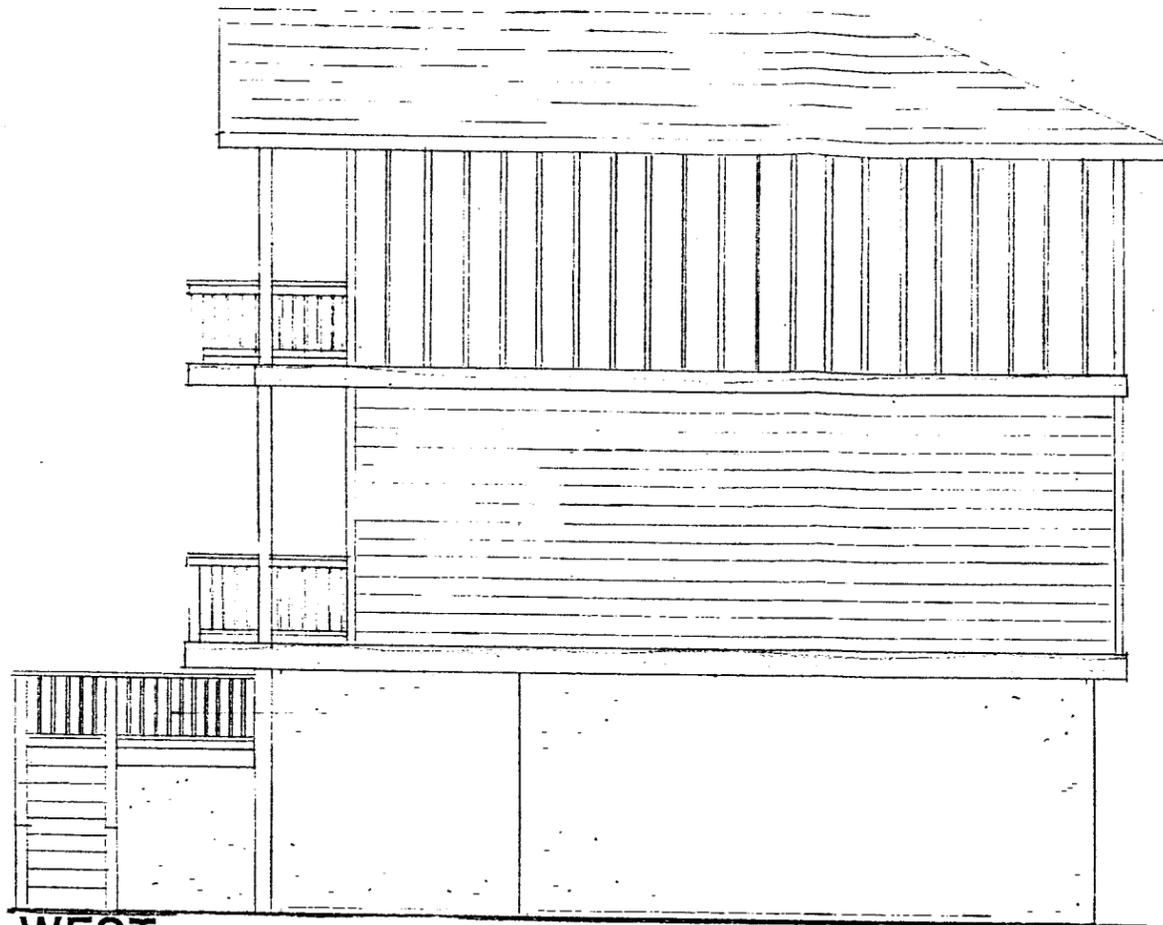
CHARLES HUFF, A.I.A.
A R C H I T E C T

Job No.	Drawn
Revisions	CH

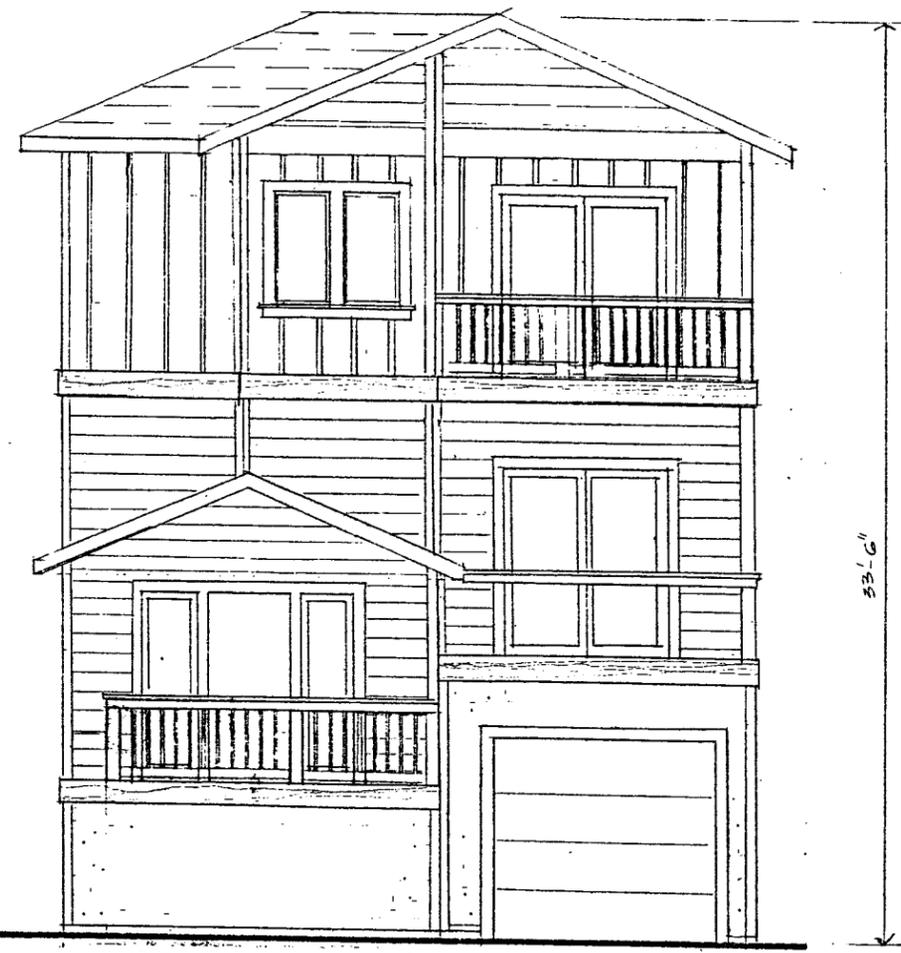
4238 FIRST STREET P.U.D

Sheet No.

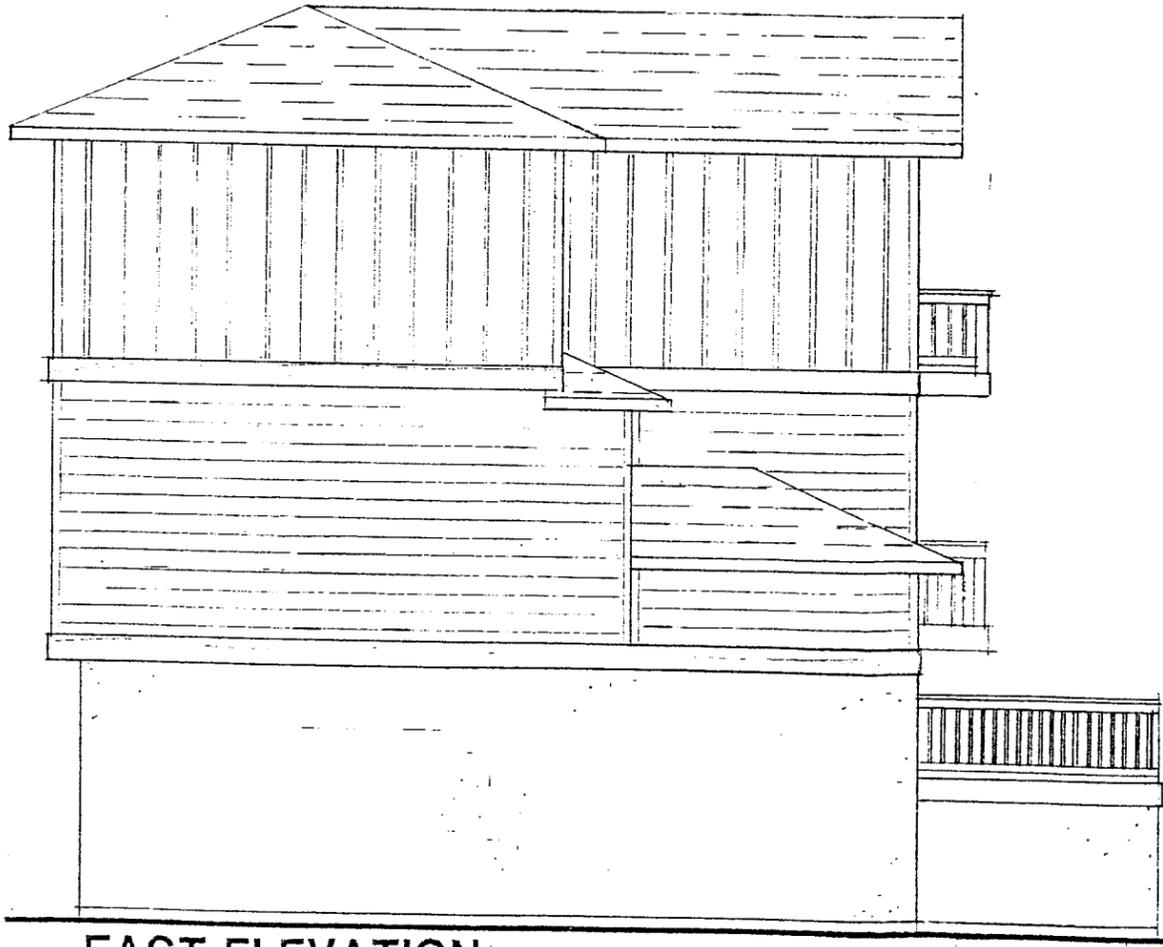
OLD PLEASANTON TRAIN STATION
30 WEST NEAL STREET, SUITE 200
PLEASANTON, CA 94566
(925) 462-9226



WEST

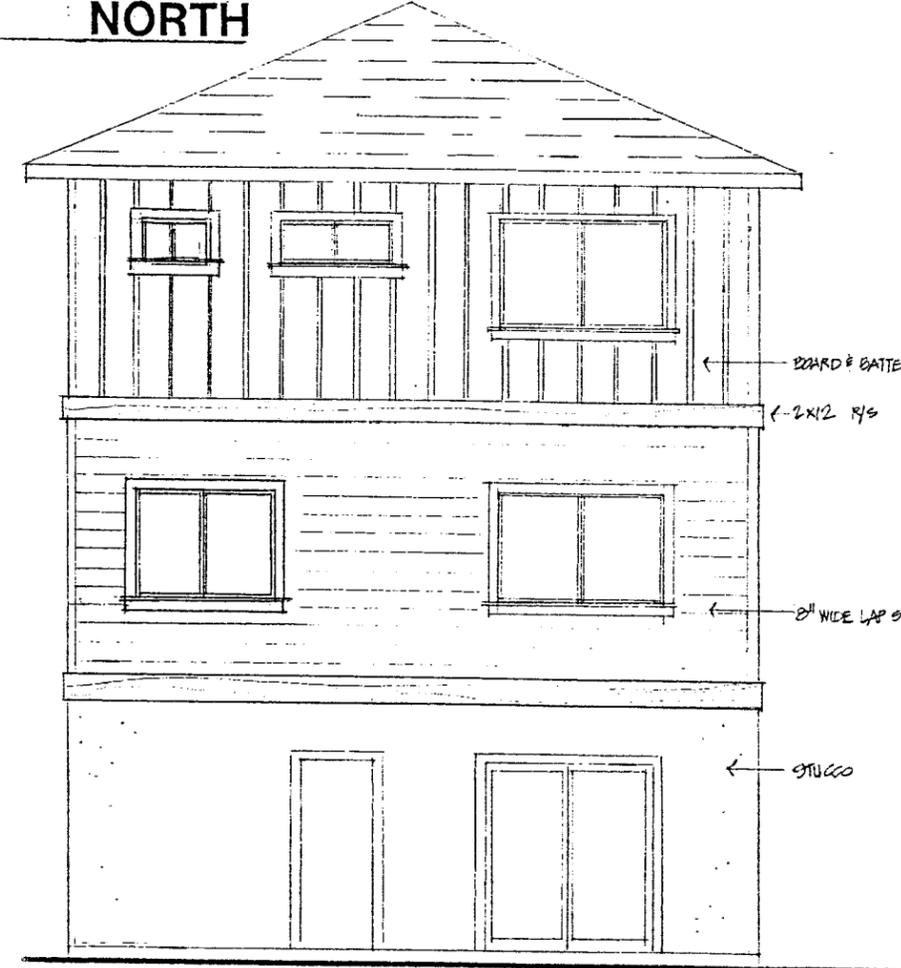


NORTH



EAST ELEVATION

LOT 3 B



SOUTH ELEVATION

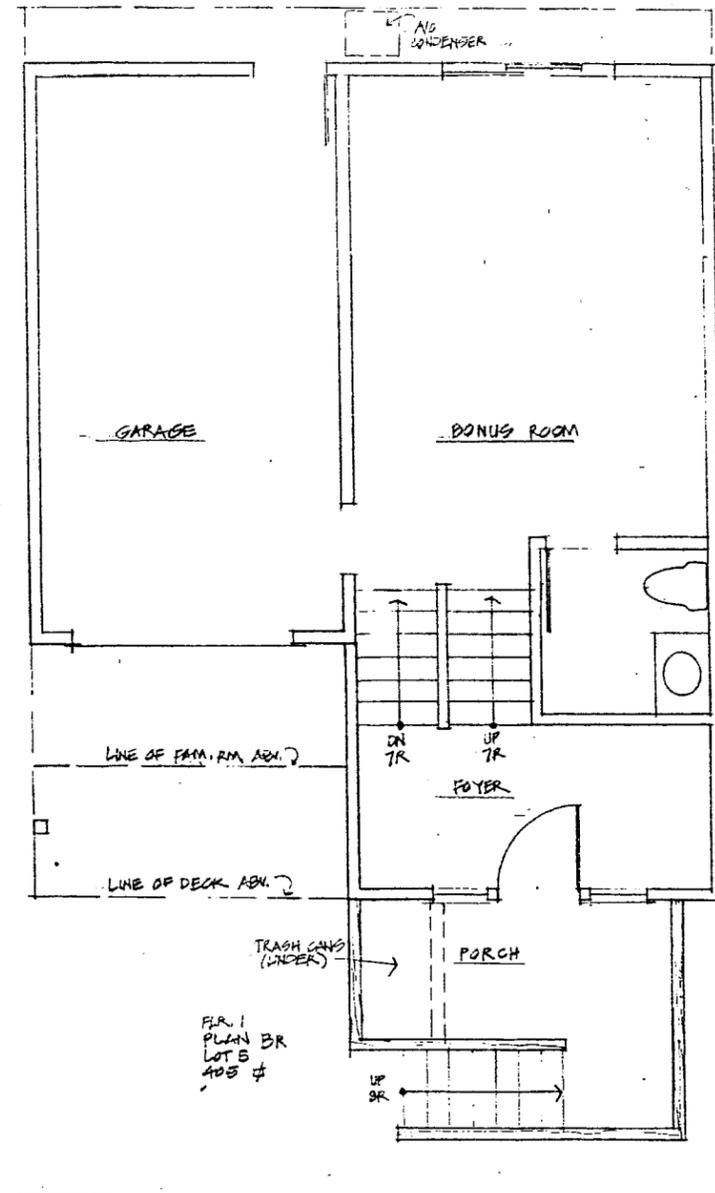
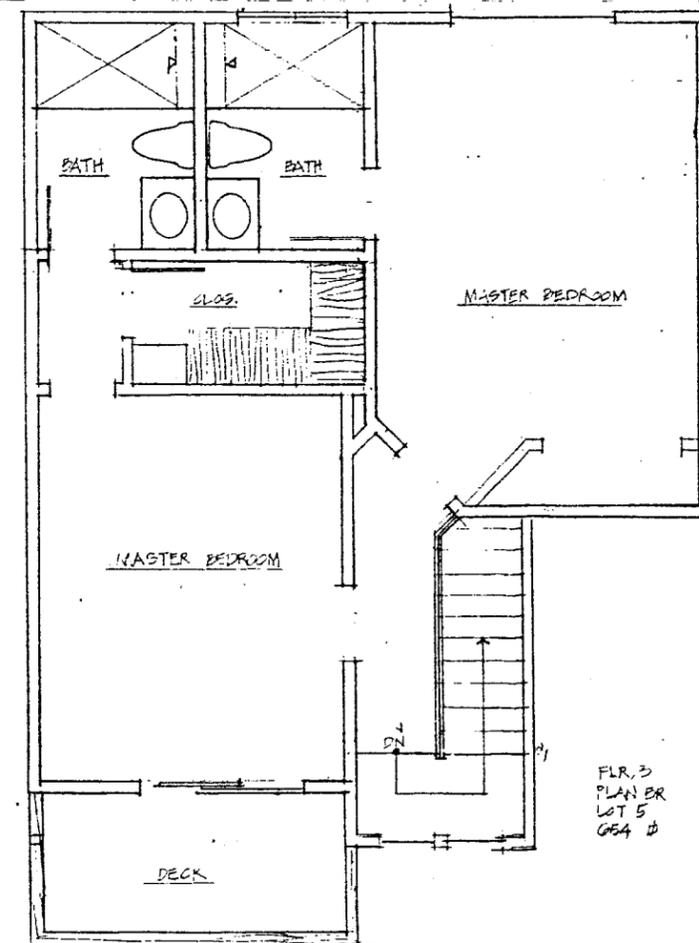
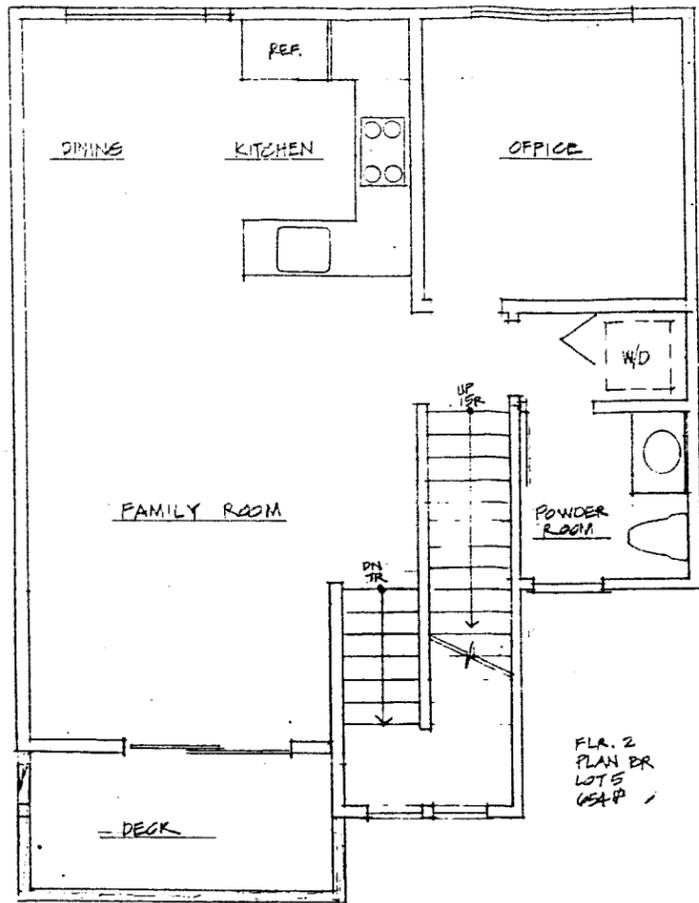
LOT 3 B

CHARLES HUFF, A.I.A.
 A R C H I T E C T
 OLD PLEASANTON TRAIN STATION
 30 WEST NEAL STREET, SUITE 200
 PLEASANTON, CA 94566
 (925) 462-9226

Drawn	12/1/27
Job No.	
Drawn	ZH
Revisions	

4238 FIRST STREET P.U.D

Sheet No.



LOT 5 BR
TOTAL AREA = 1713 SF

CHARLES HUFF, A.I.A.
ARCHITECT
OLD PLEASANTON TRAIN STATION
30 WEST NEAL STREET, SUITE 200
PLEASANTON, CA 94566
(925) 462-9226

8/1/12	Job No.
ZH	Drawn
	Revisions

4238 FIRST STREET P.U.D.

Sheet No.